



City of El Cajon

Planning Commission Agenda

Tuesday, January 17, 2023 Meeting

7:00 PM

DARRIN MROZ, Chair
 REBECCA POLLACK-RUDE, Vice Chair
 PAUL CIRCO
 ANTHONY SOTTILE
 ELIZABETH VALLES

Meeting Location: City Council Chambers, 200 Civic Center Way, El Cajon, CA, 92020

Please note that, pursuant to State and County Health Orders, in-person meetings have resumed. The public is welcome to attend and participate.

The meeting will be live-streamed through the City website at: <https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all>.

To submit written comments on an item on this agenda, or a Public Comment, please e-mail the comments with Planning Commission in the subject line to planning@elcajon.gov before 5 p.m. on Tuesday, January 17, 2023. Comments will be limited to 300 words and will be entered into the official Commission Meeting Record.

The City of El Cajon is endeavoring to be in total compliance with the Americans with Disabilities Act. If you require assistance or auxiliary aids in order to participate at the Commission meeting, please contact our office at 619-441-1742, option 3, as soon as possible.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

CHAIRPERSON'S WELCOME

PUBLIC COMMENT

This is the opportunity for the public to address the Commission on any item of business within the jurisdiction of the Commission that is not on the agenda. Under state law no action can be taken on items brought forward under Public Comment except to refer the item to staff for administrative action or to place it on a future agenda. Non-agenda public comments must be submitted before the end of public comment during the meeting.

CONSENT

Agenda Item:	1
	Planning Commission minutes of December 6, 2022

Decisions and Appeals - A decision of the Planning Commission is final unless appealed within 10 days of the date of the Commission's action. The appeal period for the items on this Agenda will end on Friday, January 27, 2023, at 5:00 p.m. Agenda items which are forwarded to City Council for final action need not be appealed.

PUBLIC HEARINGS

Agenda Item:	2	
Project Name:	Charter School – Kidinnu Academy	
Request:	Primary Charter School – TK through Grade 5	
CEQA Recommendation:	Exempt	
STAFF RECOMMENDATION:	APPROVE	
Project Number:	Conditional Use Permit (CUP) No. 2022-0016	
Location:	1701 Granite Hills Drive	
Applicant:	Kidinnu Academy; 619-938-4864	
Project Planner:	Spencer Hayes; 619-441-1656; shayes@elcajon.gov	
City Council Hearing Required?	No	
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order, approving the CEQA exemption and CUP No. 2022-0016 subject to conditions. 	

Agenda Item:	3	
Project Name:	Ventasso Battery Energy Storage System	
Request:	Battery Energy Storage System	
CEQA Recommendation:	Exempt	
STAFF RECOMMENDATION:	APPROVE	
Project Number:	Conditional Use Permit (CUP) No. 2022-0015	
Location:	203 North Johnson Avenue	
Applicant:	Scott Schwartz, RWE Solar Development, LLC; 415-361-1455; scott.schwartz@rwe.com	
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov	
City Council Hearing Required?	No	
Recommended Actions:	<ol style="list-style-type: none"> 3. Conduct the public hearing; and 4. MOVE to adopt the next resolutions in order, approving the CEQA exemption and CUP No. 2022-0015 subject to conditions. 	

Decisions and Appeals - A decision of the Planning Commission is final unless appealed within 10 days of the date of the Commission's action. The appeal period for the items on this Agenda will end on Friday, January 27, 2023, at 5:00 p.m. Agenda items which are forwarded to City Council for final action need not be appealed.

Agenda Item:	4	
Project Name:	East County Crematorium	
Request:	Crematorium	
CEQA Recommendation:	Exempt	
STAFF RECOMMENDATION:	DENY	
Project Number:	Conditional Use Permit (CUP) No. 2022-0005	
Location:	1034 North Magnolia Avenue	
Applicant:	East County Mortuary, Inc. (Robert Zakar); robertzakar@yahoo.com ; 619-654-7532	
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov	
City Council Hearing Required?	No	
Recommended Actions:	5. Conduct the public hearing; and 6. MOVE to adopt the next resolution in order DENYING CUP No. 2022-0005.	

Agenda Item:	5	
Project Name:	Vacationer RV Park	
Request:	Expand RV Park	
CEQA Recommendation:	Exempt	
STAFF RECOMMENDATION:	APPROVE	
Project Number:	Conditional Use Permit (CUP) No. 2022-0008	
Location:	1581 East Main Street	
Applicant:	RV Capital Group, LLC; 619-850-0343	
Project Planner:	Spencer Hayes; 619-441-1656; shayes@elcajon.gov	
City Council Hearing Required?	No	
Recommended Actions:	7. Conduct the public hearing; and 8. MOVE to adopt the next resolutions in order, approving the CEQA exemption and CUP No. 2022-0008 subject to conditions.	

5. OTHER ITEMS FOR CONSIDERATION

6. STAFF COMMUNICATIONS

7. COMMISSIONER REPORTS/COMMENTS

8. ADJOURNMENT

This Planning Commission meeting is adjourned to February 7, 2023 at 7 p.m.

Decisions and Appeals - A decision of the Planning Commission is final unless appealed within 10 days of the date of the Commission's action. The appeal period for the items on this Agenda will end on Friday, January 27, 2023, at 5:00 p.m. Agenda items which are forwarded to City Council for final action need not be appealed.



MINUTES PLANNING COMMISSION MEETING December 6, 2022

The meeting of the El Cajon Planning Commission was called to order at 7:00 p.m.

PLEDGE OF ALLEGIANCE & MOMENT OF SILENCE.

COMMISSIONERS PRESENT: Darrin MROZ (Chair)
Rebecca POLLACK-RUDE (Vice Chair)
Paul CIRCO
Anthony SOTTILE
Elizabeth VALLES

COMMISSIONERS ABSENT: None

STAFF PRESENT: Noah ALVEY, Deputy Director of Community Development
Mario SANCHEZ, Deputy Director of Public Works
Barbara LUCK, Staff Attorney
Mike VIGLIONE, Senior Planner
Laura JUSZAK, Administrative Secretary

Chair MROZ opened the Planning Commission meeting explaining the rules of conduct.

PUBLIC COMMENT:

One speaker, Sarah POWERS, clarifying that she was present as an affected property owner, not a representative of SDG&E.

CONSENT CALENDAR:

Agenda Item:	1
	Planning Commission minutes of November 15, 2022

Motion was made by CIRCO, seconded by VALLES, to approve the November 15, 2022 minutes; motion carried 5-0.

PUBLIC HEARING ITEM:

Agenda Item:	2
Project Name:	Zoning Code Update
Request:	Zoning Code Amendment
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	RECOMMEND CITY COUNCIL APPROVAL
Project Number:	Zoning Code Amendment No. ZCA-2022-0002
Location:	Citywide
Applicant:	City of El Cajon
Project Planner:	Noah Alvey; nalvey@elcajon.gov ; 619-441-1795
City Council Hearing Required?	Yes December 13, 2022
Recommended Actions:	<ol style="list-style-type: none">1. Conduct the public hearing; and2. MOVE to adopt the next resolutions in order recommending City Council approval of the proposed Zoning Code Amendment No. ZCA-2022-0002.

ALVEY and VIGLIONE summarized the staff report through a PowerPoint presentation.

COMMISSIONERS asked questions with ALVEY and VIGLIONE providing answers.

MROZ opened the public hearing.

There was no public comment.

Motion was made by MROZ, seconded by VALLES, to close the public hearing; motion carried 5-0.

COMMISSIONERS discussed the item.

Motion was made by CIRCO, seconded by POLLACK-RUDE, to adopt the next resolution in order recommending City Council approval of the proposed ZCA-2022-0002; motion carried 5-0.

Agenda Item:	3
Project Name:	Greenfield Dr. & E. Main St. Specific Plan
Request:	Regulate future development of a vacant property at Greenfield Dr. & E. Main St.
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	RECOMMEND CITY COUNCIL APPROVAL
Project Number(s):	Specific Plan No. SP-2022-0004
Location:	Southwest corner of Greenfield Dr. & E. Main St.
Applicant:	Request initiated by City Council
Project Planner:	Noah Alvey; nalvey@elcajon.gov ; 619-441-1795
City Council Hearing Required?	Yes December 13, 2022
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order recommending City Council approval of the proposed CEQA exemption and SP-2022-0004, subject to conditions.

ALVEY summarized the staff report through a PowerPoint presentation.

COMMISSIONERS asked questions with ALVEY providing answers.

MROZ opened the public hearing.

John CURTIS is a neighboring property owner and spoke indicating a neutral position regarding the action and requested additional information through questions for staff.

Sarah POWERS indicated she represented Sunset Highlands HOA and spoke indicating a neutral position regarding the action and requested additional information through questions for staff.

Dennis WEINREICH completed a speaker card, but declined to speak saying all his questions had been addressed by previous speakers.

Motion was made by MROZ, seconded by VALLES, to close the public hearing; motion carried 5-0.

Motion was made by SOTTILE, seconded by POLLACK-RUDE, to adopt the next resolutions in order recommending City Council approval of the CEQA exemption and SP-2022-0004; motion carried 5-0.

OTHER ITEMS FOR CONSIDERATION:

Staff brought 2023 Planning Commission calendar forward for review and concurrence by COMMISSIONERS.

Motion was made by POLLACK-RUDE, seconded by CIRCO, to accept the proposed 2023 Planning Commission calendar; motion carried 5-0.

STAFF COMMUNICATIONS:

COMMISSIONER REPORTS/COMMENTS:

ADJOURNMENT:

Motion was made by MROZ, seconded by CIRCO, to adjourn the meeting of the El Cajon Planning Commission at 7:40 p.m. this 6th Day of December, 2022, until 7:00 p.m., Tuesday, January 17, 2023; motion carried 5-0.

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary



Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	2
Project Name:	Charter School – Kidinnu Academy
Request:	Primary Charter School – TK through Grade 5
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	APPROVE
Project Number:	Conditional Use Permit (CUP) No. 2022-0016
Location:	1701 Granite Hills Drive
Applicant:	Kidinnu Academy; 619-938-4864
Project Planner:	Spencer Hayes; 619-441-1656; shayes@elcajon.gov
City Council Hearing Required?	No
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order, approving the CEQA exemption and CUP No. 2022-00016 subject to conditions.

PROJECT DESCRIPTION

This project proposes to convert an existing, vacant religious facility for use as a charter school – Kidinnu Academy. The proposed school would support up to 249 students with 29 staff persons between the hours of 8:00 am and 2:20 pm, and with limited after school programming until 6:00 pm. The proposal includes outdoor play areas and modified site circulation for onsite drop-off and pick-up queuing. The modified circulation would require entry and exit from the northernmost driveway off of Granite Hills Drive, with additional emergency vehicle access from Dehesa Road. Other improvements include new fencing and vehicle gates, as well as interior improvements for classrooms. The subject property is located on the northeast corner of Granite Hills Drive and Dehesa Road, and is addressed as 1701 Granite Hills Drive.

BACKGROUND

General Plan:	Low-Low Density Residential (LLR)
Specific Plan:	N/A
Zone:	Residential, Single-family, 40,000 sq. ft. (RS-40)
Other City Plan(s):	CUP No. 1296
Regional and State Plan(s):	None
Notable State Law(s):	None

Project Site & Constraints

The project site is 107,157 square feet (2.46 acres) and is situated along the boundary of the City of El Cajon ("City") and San Diego County ("County"). The parcel is directly adjacent to a residence in the County to the north and a vacant parcel within the County across Dehesa Road to the south.

Conditional Use Permit ("CUP") No. 1296 authorized the development of a religious facility at the subject site. The CUP was approved in 1988 and included the 15,000 square foot church building, a 280 square foot accessory structure, trash enclosure, 45-foot tall spire, 140 parking spaces, and landscaping. Two 30-foot wide driveways provide access to the site – one to the north off of Granite Hills Drive, and another east on Dehesa Road. Both driveways are gated, and the site includes a masonry boundary wall along the interior property lines. The facility is currently vacant.

Surrounding Context

Properties surrounding the site are developed and zoned as follows:

Direction	Zones	Land Uses
North	County	Single-family dwellings
South	County	Vacant parcel
East	RS-40	Single-family dwellings
West	RS-9	Single-family dwellings

General Plan

The project site is designated Low-Low Density Residential ("LLR") on the General Plan Land Use Map. The LLR designation is intended for residential density up to three dwelling units per acre.

Zoning Code

The subject property is within the RS-40 (Residential, Single-family, 40,000 square foot) zone, which is consistent with the LLR General Plan designation. Pursuant to the Residential Land Use Table in section 17.140.210 of the El Cajon Municipal Code ("ECMC"), educational institutions require approval of a CUP in all residential zones, including the RS-40 zone. The CUP is intended to ensure compliance with applicable development standards, use restrictions, and compatibility with surrounding properties and land uses.

DISCUSSION

Land Use

The applicant is requesting to establish a charter school for up to 249 students – transitional kindergarten ("TK") through fifth grade – within the existing structure. The school would have 29 staff persons including faculty and personnel. Proposed school hours are Monday through Friday from 8:00 am to 2:20 pm with staggered arrival times

starting as early as 7:30 am and staggered dismissal times as late as 2:40 pm. School staff would arrive approximately 30 minutes earlier at 7:00 am. Limited afterschool programming is also proposed as late as 6:00 pm. According to provided project information, it is estimated that roughly 50 percent of students would remain for afterschool instruction and would be picked up at varying times. Additional anticipated events, such as parent-teacher night, are described on the plans title sheet.

School programming includes a 20-minute lunch, followed by 20-minute recess every day, as well as a 40-minute physical education course once per week. Acoustical analysis for outdoor recess and physical education activities was conducted by Eilar Associates, Inc., and is discussed below.

It should be noted that the applicant currently operates a roughly 170-student TK through 3rd grade charter school under the same name at 1025 North Second Street, within the City of El Cajon.

Parking & Circulation

The Zoning Code does not provide specific parking standards for schools. Rather, the parking requirement for a school is determined as part of the project analysis and approval of the CUP. The former religious facility was significantly over-parked with 140 spaces. The subject project proposes to retain 82 parking spaces, with the remainder of parking being repurposed for outdoor play areas. Staffing for the school is proposed to be 29 individuals, therefore, sufficient on-site parking remains for school staff. Additionally, 44 parking stalls will remain in outdoor play areas for a total of 126 parking spaces for after school events such as parent-teacher night.

No modification to existing driveways or drive aisles is proposed. Primary entry and exit for student drop-off and pickup would occur at the Granite Hills Drive driveway. During peak times, vehicles would enter a two lane, one-way queue wrapping the entirety of the site. Additional fences and vehicle gates are proposed to close off the drive aisle from the play area during school hours. The driveway off of Dehesa Road would remain gated except for access by emergency services.

Traffic

The project is expected to generate 400 average daily vehicle trips based on a 250-student school. Based on the San Diego Association of Governments and Institute of Traffic Engineers threshold of 1,000 average daily vehicle trips, a traffic impact study was not required. The two lane, one-way vehicle queue off of Granite Hills Drive helps to ensure that vehicles can safely stack out of the public right-of-way.

Noise Analysis

An acoustical study was conducted by Eilar Associates, Inc. to evaluate project-related noise. The report assess noise in relation to both El Cajon Zoning Code and County of San Diego standards. Peak noise-generating times were assessed in the report – drop off

and pick-up, and recess and physical education. The study concludes that anticipated project-related noise would not exceed City or County standards at the property line, and that expected noise levels are generally 3-9 decibels lower than the respective jurisdictional standards for residential daytime noise. No noise mitigation was deemed necessary in the report.

FINDINGS

The Commission shall approve issuance of the permit upon meeting the CUP findings listed in section 17.50.060 of the ECMC. If the Commission can make all findings, it must approve the issuance of the CUP. The findings for CUP approval are as follows:

- A. *The proposed project is consistent with applicable goals, policies, and programs of the General Plan and with any applicable specific plan.*

The proposed project is consistent with the General Plan, which encourages the interaction between residential development, major streets and boundaries, and schools and parks in order to create activity centers and neighborhood focal points to foster social interaction. The site is not within a specific plan.

- B. *The proposed site plan and building design are consistent with all applicable use and development standards.*

The proposed site plan is consistent with applicable use and development standards of the RS-40 zone, including: structure setbacks, landscaping areas, structure height, and project boundary wall. Adequate space for employee parking and safe loading and unloading space for students is shown in project plans. Further, emergency vehicle access around the building is retained. Conditions of approval require compliance with all applicable California Building and Fire Codes.

- C. *The proposed project will be operated in a manner that is compatible with existing and planned land uses in the vicinity of the proposed use.*

Generally, schools are considered compatible with residential neighborhoods. The project proposal has taken into consideration the various issues of noise and traffic related to the operation of an educational institution. It was concluded that noise would not negatively impact surrounding residential properties. Further the site plan includes ample parking to support staff and a circulation scheme for onsite queueing of student drop off and pick-up vehicles. Modifications to operations requires prior Planning assessment and approval.

- D. *The proposed project will not be detrimental to the public health, safety, and general welfare, including but not limited to matters of noise, smoke, dust, fumes, vibration, odors, and hazards or excessive concentrations of traffic.*

- E. Impacts are not anticipated with the normal conduct of a charter school. If the institution does become a nuisance, the City has performance standards for those

impacts that are addressed through code enforcement actions when complaints are received. Furthermore, the matters of noise and traffic were specifically assessed and determined to not be detrimental. *The proposed use is in the best interest of the public convenience and necessity.*

The project would provide an appropriate place for children to receive an education and provides an additional educational institution option within the community. The subject property can accommodate classrooms, outdoor play areas, parking, and vehicular access and circulation, and is in the best interest of the public convenience and necessity.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act ("CEQA") according to sections 15301 ("Existing Facilities") and 15303 ("New Construction") of the CEQA Guidelines. Section 15301 provides an exemption for projects which include interior alterations involving such things as partitions, plumbing, and electrical conveyance. And, section 15303 provides an exemption for accessory (appurtenant) structures such as fencing. Therefore, the project meets criteria for Class 1 & 3 Existing Facilities and New Construction exemptions. None of the exemptions listed under CEQA Guidelines section 15300.2 exist.

PUBLIC NOTICE & INPUT

A notice of application was mailed to property owners and tenants within 300 feet of the subject property on September 29, 2022. One concern was received in regard to traffic. Notice of this public hearing was mailed on January 5, 2023, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with California Government Code sections 65090, 65091, and 65092, as applicable. Additionally, as a public service, the notice was posted in the kiosk at City Hall and on the City's website. No comments were received in response to the public hearing notice.

RECOMMENDATION

Staff is recommending approval of CUP-2022-0016 for a charter school at 1701 Granite Hills Drive.

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PREPARED BY:



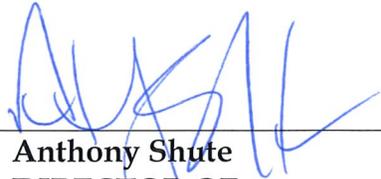
**Spencer Hayes
ASSOCIATE
PLANNER**

REVIEWED BY:



**Noah Alvey
DEPUTY
DIRECTOR OF
COMMUNITY
DEVELOPMENT**

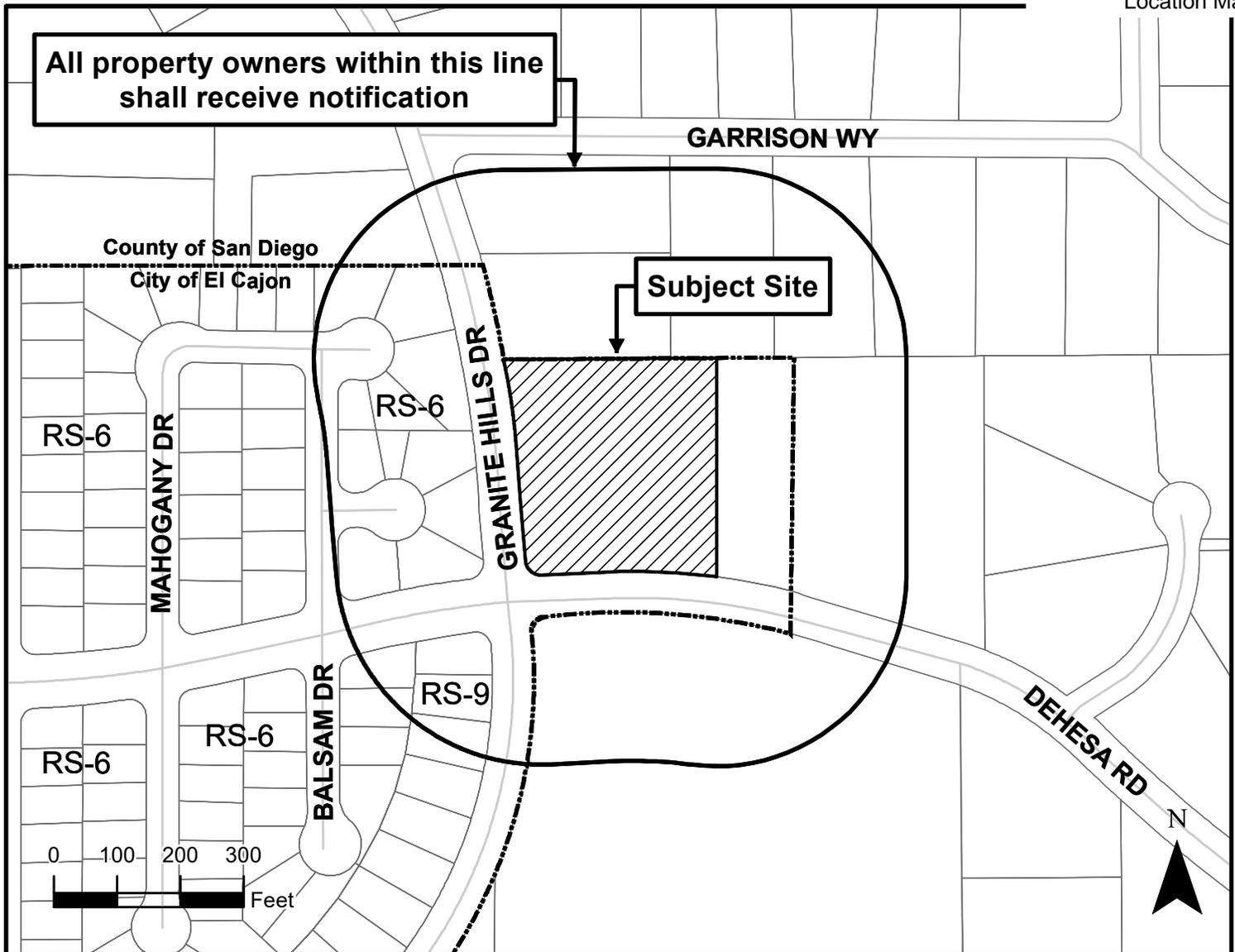
APPROVED BY:



**Anthony Shute
DIRECTOR OF
COMMUNITY
DEVELOPMENT**

ATTACHMENTS

1. Public Hearing Notice/Location Map
2. Proposed Resolution APPROVING CEQA exemption
3. Proposed Resolution APPROVING CUP No. 2022-0016
4. Aerial Photograph of Subject Site
5. Application & Disclosure Statement
6. Project Description & Plans
7. Acoustical Analysis



**NOTICE OF PROPOSED
CONDITIONAL USE PERMIT
KIDINNU ACADEMY**

NOTICE IS HEREBY GIVEN that the El Cajon Planning Commission will hold a public hearing at **7:00 p.m., Tuesday, January 17, 2023** in the City Council Chambers, 200 Civic Center Way, El Cajon, CA, to consider:

CONDITIONAL USE PERMIT (CUP) NO. 2022-0016, as submitted by Mannix Architecture on behalf of Kidinnu Academy, requesting conversion of an existing religious facility to a charter school to support 249 students between the hours of 8:00 am and 2:20 pm, and with limited after school uses until 6:00 pm. The subject property is located on the northeast corner of Granite Hills Drive and Dehesa Road, and is addressed as 1701 Granite Hills Drive, APN 511-330-63-00. This project is exempt from the California Environmental Quality Act (CEQA).

The public is invited to attend and participate in this public hearing. The agenda report for this project will be available 72 hours prior to the Planning Commission meeting at <https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all>. In an effort to reduce the City's carbon footprint, paper copies will not be provided at the public hearing, but will be available at City Hall in the Project Assistance Center upon request.

If you challenge the matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Commission, or prior to, the public hearing. The City of El Cajon encourages the participation of disabled individuals in the services, activities, and programs provided by the City. Individuals with disabilities who require reasonable accommodation in order to participate in the public hearing should contact Planning at 619-441-1742. More information about planning and zoning in El Cajon is available at <http://www.elcajon.gov/your-government/departments/community-development/planning-division>.

If you have any questions, or wish any additional information, please contact **SPENCER HAYES** at 619-441-1742 or via email at shayes@elcajon.gov and reference "CUP-2022-0016" in the subject line.

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) EXEMPTION 15301 (EXISTING FACILITIES) AND 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) FOR CONDITIONAL USE PERMIT NO. 2022-0016 FOR THE CONVERSION OF AN EXISTING RELIGIOUS FACILITY TO CHARTER SCHOOL ON THE NORTHEAST CORNER OF GRANITE HILLS DRIVE AND DEHESA ROAD IN THE RS-40 ZONE, APN: 511-330-63-00, GENERAL PLAN DESIGNATION: LOW-LOW DENSITY RESIDENTIAL

WHEREAS, the El Cajon Planning Commission ("Planning Commission") duly advertised and held a public hearing on January 17, 2023, to consider Conditional Use Permit No. 2020-0016, as submitted by Mannix Architecture on behalf of Kidinnu Academy, requesting conversion of an existing religious facility to a charter school to support 249 students between the hours of 8:00 am and 2:20 pm, with limited afterschool programming until 6:00 pm in the RS-40 zone, on the northeast corner of Granite Hills Drive and Dehesa Road, and addressed as 1701 Granite Hills Drive, APN: 511-330-63-00; and

WHEREAS, in accordance with California Environmental Quality Act ("CEQA") Guidelines section 150061(b)(2), the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, the project proposes to convert an existing religious facility to a charter school to support 249 students between the hours of 8:00 am and 2:20 pm, with limited afterschool programming until 6:00 pm. The proposal includes interior modifications to an existing structure and new vehicle gates and fencing; and

WHEREAS, it is proposed that the project is exempt from CEQA under sections 15301, Class 1 (Existing Facilities) and 15303, Class 3 (New Construction or Conversion of Small Structures) of CEQA Guidelines. Section 15301 provides an exemption for projects which include interior alterations involving such things as partitions, plumbing, and electrical conveyance. And, section 15303 provides an exemption for accessory (appurtenant) structures such as fencing; and

WHEREAS, no evidence was presented in proceedings that any of the conditions exist to provide exceptions to categorical exemptions as described in CEQA Guidelines section 15300.2, exist; and

Proposed Planning Commission Resolution

WHEREAS, section 15303 is an appropriate exemption for the proposed project and the record of proceedings contains evidence to support the determination that the Class 3 Categorical Exemption applies; and

WHEREAS, after considering evidence and facts, the Planning Commission did consider the proposed CEQA exemption as presented at its meeting; and

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to the proposed exemption for conversion of an existing religious facility for use as a charter school – Kidinnu Academy.

Section 2. That based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES the proposed CEQA exemption for Kidinnu Academy.

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Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held January 17, 2022, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Vice Chair

ATTEST:

Noah ALVEY, Secretary

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CONDITIONAL USE PERMIT NO. 2022-0016 FOR THE CONVERSION OF AN EXISTING RELIGIOUS FACILITY TO A CHARTER SCHOOL ON THE NORTHEAST CORNER OF GRANITE HILLS DRIVE AND DEHESA ROAD IN THE RS-40 ZONE, APN: 511-330-63-00, GENERAL PLAN DESIGNATION: LOW-LOW DENSITY RESIDENTIAL

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on January 17, 2023, to consider Conditional Use Permit ("CUP") No. 2020-0016, as submitted by Mannix Architecture on behalf of Kidinnu Academy, requesting conversion of an existing religious facility to a charter school to support 249 students between the hours of 8:00 am and 2:20 pm, with limited afterschool programming until 6:00 pm in the RS-40 zone, on the northeast corner of Granite Hills Drive and Dehesa Road, and addressed as 1701 Granite Hills Drive, APN: 511-330-63-00; and

WHEREAS, the El Cajon Planning Commission adopted the next resolution in order determining that the proposed project is exempt from the provisions of the California Environmental Quality Act ("CEQA") according to Section 15301 (Existing Facilities) and 15303 (New Construction) of the CEQA Guidelines; and

WHEREAS, at the public hearing the Planning Commission received evidence through public testimony and comment in the form of verbal and written communications and reports prepared and presented to the Planning Commission, including (but not limited to) evidence such as the following:

- A. The proposed project is consistent with the General Plan, which encourages the interaction between residential development, major streets and boundaries, and schools and parks in order to create activity centers and neighborhood focal points to foster social interaction. The site is not within a specific plan.
- B. The proposed site plan is consistent with applicable use and development standards of the RS-40 zone, including: structure setbacks, landscaping areas, structure height, and project boundary wall. Adequate space for employee parking and safe loading and unloading space for students is shown in project plans. Further, emergency vehicle access around the building is retained. Conditions of approval require compliance with all applicable California Codes.
- C. Generally, schools are considered compatible with residential neighborhoods. The project proposal has taken into consideration the various issues of noise and traffic related to the operation of an educational institution. It was concluded that noise would not negatively impact surrounding residential properties. Further the site

plan includes ample parking to support staff and a circulation scheme for onsite queueing of student drop off and pick-up vehicles. Modifications to operations requires prior Planning assessment and approval.

- D. Impacts are not anticipated with the normal conduct of a charter school. If the institution does become a nuisance, the City has performance standards for those impacts that are addressed through code enforcement actions when complaints are received. Furthermore, the matters of noise and traffic were specifically assessed and determined to not be detrimental.
- E. The project would provide an appropriate place for children to receive an education and provides an additional educational institution option within the community. The subject property can accommodate classrooms, outdoor play areas, parking, and vehicular access and circulation, and is in the best interest of the public convenience and necessity.

NOW, THEREFORE, BE IT RESOLVED that based upon said findings, the El Cajon Planning Commission hereby APPROVES CUP-2022-0016 to allow for the proposed conversion of an existing religious facility to a charter school on the above described property subject to the following conditions:

Planning

1. Prior to the issuance of a building permit, or as otherwise determined by the Director of Community Development, the applicant shall submit and obtain approval of a one-page, digital site plan for CUP-2022-0016 that includes the following specific notes and changes:
 - A. Include notes listing the ongoing conditions of approval contained below.
 - B. Include the following note: "This project shall comply with the Standard Conditions of Development from Planning Commission Resolution No. 10649, as applicable."
 - C. The site plan shall reflect the applicable comments and include all of the required notes from Engineering.
 - D. Reflect a six inch curb surrounding the westerly play areas and remove parking striping. Alternatively, locate the proposed wrought-iron fence behind (east) of the existing parking spaces.
2. Prior to the issuance of a building permit, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
 - A. Comply with the Engineering comments to the satisfaction of the City Engineer and the Director of Community Development.

- B. Submit a photometric analysis showing adequate lighting for pedestrian and vehicular safety. Lighting shall not constitute a nuisance on any other property.
3. The following shall be ongoing conditions of this CUP and shall be listed on the revised site plan:
 - A. The use shall be operated in a manner that is compatible at all times with the surrounding properties and uses.
 - B. Any change in use, operations, or expansion of the facility may require prior City approval, including an amendment to this conditional use permit.
 - C. Normal operating hours shall be between 7:00 am to 6:00 pm.
 - D. School staff shall actively manage arrival, departure, queuing of vehicles, and orderly loading and unloading of students. School staff shall ensure drop off and pick-up only occurs on school property only.
 - E. Drop off and pick-up from adjacent residential streets is prohibited.
 - F. Site circulation shall be consistent with the approved site plan during peak drop off and pick-up times.
 - G. The driveway entrance from Dehesa Road shall remain closed except for use by emergency personnel.
 - H. The 82 parking spaces shown on the site plan are to remain open for accessible use by employees and attending families.
 - I. School staff shall not park on adjacent residential streets.
 - J. Student capacity of the charter school shall not exceed 249 persons.
 - K. Students shall be in transitional kindergarten through fifth grade. This CUP does not authorize a high school.
 - L. The school shall be adequately lit to ensure pedestrian and vehicular safety and to minimize security problems.
 - M. All landscaping at the site shall be maintained in good growing condition. Such maintenance shall include, where appropriate, pruning, mowing, weeding, cleaning of debris and trash, fertilizing and regular watering. Whenever necessary, dead or dying plants shall be replaced with other plant materials to ensure continued compliance with applicable landscaping requirements. Required irrigation systems shall be fully maintained in sound operating condition with heads periodically cleaned and replaced when missing to ensure continued regular watering of landscape areas, and health and vitality of landscape materials.

- N. A public address (PA) system shall not be used outside of the school structure. Use of a school bell system shall comply with performance standards for noise contained in ECMC section 17.115.130.
- 4. The applicant shall comply with the conditions listed in the "Standard Conditions of Development" attached to this resolution.

Engineering and Storm Water

- 5. Prior to the issuance of project building permits the applicant shall complete the following:
 - A. Add the following note to the entitlement site plan:
"All operations shall comply with the City's Jurisdictional Runoff Management Program ("JRMP") and the City's Storm Water Ordinance (El Cajon Municipal Code Chapters 13.10 and 16.60) to minimize or eliminate discharges of pollutants to the storm drain system. Operations shall include implementation of residential Best Management Practices ("BMPs")."
 - B. A video inspection of the existing sewer lateral may be required pursuant to ECMC section 13.37.040. See the following link for more information: <https://www.elcajon.gov/home/showpublisheddocument/11675/636553151614200000>.
 - C. Implement applicable BMPs from the previously submitted Forms I-4 and 1-5. BMPs, composed of site design and source control BMPs. All applicable storm water BMP features shall be shown on site plan and landscaping plans.
- 6. Prior to granting of occupancy for the project the applicant shall complete the following:
 - A. The existing driveways shall be modified to be Americans with Disabilities Act compliant, to include 2:1 sidewalk transitions, subject to review and approval of the City. One driveway modification will be required with a Building Permit valuation between \$80,000 and \$160,000; the two driveways will have to be modified with a valuation over \$160,000. A minimum of two-foot transition may be required at back of driveway to accommodate the elevation change that might be caused due to new driveway grade. Edge of driveways shall be a minimum of three feet from the property line and all obstructions. The driveways shall be a minimum 30 feet/36 feet curb cut.
- 7. An Encroachment Permit (EP) is required prior to work in the public rights-of-way.

Building and Fire Conditions

8. Obtain a building permit and comply with currently adopted edition of the California Building Code, California Fire Code, California Mechanical Code, California Plumbing Code, California Electrical Code, and Green Building Standard Code.
9. The conversion shall comply with the Group Classification of E.
10. Gates will require fire access via knox box, or in the case of electric gates an optical sensor and key override.

General Conditions

11. The existence of this conditional use permit shall be recorded with the County Recorder.
12. The site shall be developed and operated in substantial conformance with conditions as presented in the Planning Commission staff report titled Conditional Use Permit No. 2022-0016, dated January 17, 2023, except as modified by this resolution. Operation of the use in violation of the conditions of approval is grounds for revocation.
13. If this permit is not legally exercised within two years of project approval, and a written request for an extension of time has not been received and subsequently approved by the Planning Secretary within the same time period, this conditional use permit shall be considered null and void pursuant to ECMC section 17.35.010.
14. The Planning Commission may at any time during the life of this use permit, after holding a properly noticed public hearing, and after considering testimony as to the operation of the approved use, revoke the permit, or modify the permit with any additional conditions as it deems necessary, to ensure that the approved use continues to be compatible with surrounding properties and continues to be operated in a manner that is in the best interest of public convenience and necessity and will not be contrary to the public health, safety or welfare. At such hearing the applicant may appear and object under applicable law to any potential revocation or modification of the conditions of approval.

[REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK]

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held January 17, 2022, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Vice Chair

ATTEST:

Noah ALVEY, Secretary

Aerial Image

CUP-2022-0008

1701 Granite Hills Drive





Project Assistance Center
PLANNING PERMIT APPLICATION

Type of Planning Permit(s) Requested:

<input type="checkbox"/> AZP Administrative Zoning Permit	<input checked="" type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> LLA Lot Line Adjustment	<input type="checkbox"/> MA Minor Amendment
<input type="checkbox"/> MUP Minor Use Permit	<input type="checkbox"/> PRD Planned Residential Development	<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SDP Site Development Plan Permit
<input type="checkbox"/> SP Specific Plan	<input type="checkbox"/> SCR Substantial Conformance Review	<input type="checkbox"/> TPM Tentative Parcel Map	<input type="checkbox"/> TSM Tentative Subdivision Map
<input type="checkbox"/> VAR Variance	<input type="checkbox"/> ZR Zone Reclassification	<input type="checkbox"/> Other: _____	

Project Location

Parcel Number (APN): 511-330-63-00

Address: 1701 Granite Hills Drive, El Cajon, Ca. 92019

Nearest Intersection: Granite Hills Drive and E Washington Ave

Project Description (or attach separate narrative)

Use of a vacant existing church building for a charter school. Upgrades to the building will be for fire, health safety and ADA to meet code requirements for an E occupancy. The existing building has classrooms that will be used to the greatest extent possible. The parking lot with existing dual access points provides adequate ability for drop off and pick up and keeps queuing of cars off the public streets.

Project Screening Questions

Existing use?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	If yes, please describe: <u>currently vacant church</u>
Modification of use?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	<u>To be converted into use for a school</u>
New development or addition?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	<u>Interior improvements</u>
Existing Structures?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	<u>Age of the structures: Approx 1990 per plans</u>

Demolition or substantial modification proposed to site improvements or structures? No Yes None

Tenant improvements proposed? No Yes Interior Improvements for health and safety. No exterior improvements are planned.

Existing vegetation or trees on site proposed for removal? No Yes All existing vegetation to remain

Proposed grading? No Yes Proposed quantities of cut and/or fill. None

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name: Kidinnu Academy

Contact Name: Ms.Christin Barkas / Dr. Noori Barka

Mailing Address: 1025 N Second St El Cajon 92021

Phone: 619 938-4864 Email: cbarkas@kidinnu.com

Interest in Property: Own Lease Option

Project Representative Information (if different than applicant; consultant information here)

Company Name: Mannix Architecture

Contact Name: Dan Mannix License: C15500

Mailing Address: 439 El Cajon Blvd., El Cajon, CA 92020

Phone: (619)588-7730 Email: dan@mannixarch.com

Property Owner Information (if different than applicant)

Company Name: The Church of Jesus Christ of Latter-Day Saints a Utah Corporation

Contact Name: Jeff Roberts or Authorized Agent sole

Mailing Address: 50 East North Temple Street, 12th Floor, Salt Lake City, Utah 84150

Phone: 801-353-1268 Email: Robertsjd@churchofjesuschrist.org

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: _____ Date of List: _____

Authorization

Applicant Signature¹:  Date: 11-3-22

Property Owner Signature²:   Date: Nov 3, 2022

- Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
- Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

Pre-application Conference

The purpose of a pre-application conference is to provide you an opportunity to review your project with City staff in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. A pre-application is required unless waived by staff.

Conference date: _____

Application Submittal

To submit your application, it must be done by appointment scheduled in advance for all Level 3, 4, & 5 project reviews, unless waived by staff. It is recommended for projects that will subsequently meet the criteria for a Level 1-C review through Level 2.

Appointment date: _____



Disclosure Statement

This statement is intended to identify and avoid potential conflicts of interest that may exist between the project proponents and the decision makers; including City staff, Planning Commissioners, and City Council members.

The following information must be disclosed:

1. List the names and addresses of all persons having a financial interest in the application.

Christin Barkas / Dr. Noori Barka 1025 N Second St EC

Thomas Alberini 1000 SW Broadway, STE 1800 Portland, Oregon 97205

Jeff Roberts 50 E. N. Temple St, 12th Floor Salt lake City, Utah

Tim Mills CRBE 4301 La Jolla Village Dr. San Diego, CA Ste 3000 92122

List the names and address of all persons having any ownership interest in the property involved.

The Church of Jesus Christ of Latter-Day Saints

Jeff Roberts 50 E. N. Temple St, 12th Floor Salt lake City, Utah

2. If any person identified pursuant to (1) above is a corporation or partnership, list the names and addresses of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

3. If any person identified pursuant to (1) above is a trust, list the name and address of any person serving as trustee or beneficiary or trustor of the trust.

Project Description

The Church of Jesus Christ of Latter-Day Saints has currently vacated the building. The application is to convert the building into a Charter School Kidinnu Academy. The existing location is at 1025 N. Second St. El Cajon, CA 92021.

- Proposed E Occupancy Charter School
- Proposed B Occupancy Office
- Previous A-1 Church built in 1991

The existing church space has multipurpose classrooms that will be utilized for the proposed charter school. There will be 10 classrooms for a total of 249 students after minor tenant improvements. The current occupancy for the building is 497 occupants for the A-1 occupancy. Parking will be reduced for student out door areas. The fire department loop will be kept. No additions are proposed to the exterior of the building. The color and finishes will remain. The existing storm water improvements will be kept. The traffic drop off and pick up lines will be on site. Site CMU walls are existing to provide a private campus for the school.

The Kidinnu Academy

1701 Granite Hills Drive El Cajon CA 92019

Conditional Use Permit City of El Cajon

Drawing Legend

MATERIAL

WALL LEGEND

- (E) 2x Wood Studs / Stucco Exterior / Drywall Interior
- (P) 3x Metal Studs Drywall each Side

DRAWING LEGEND

- (N) CONCRETE
- BUILDING SECTION
- DRAWING NUMBER
- SHEET WHERE DRAWN
- DETAIL SYMBOL
- DRAWING NUMBER
- SHEET WHERE DRAWN
- INTERIOR ELEVATION
- DRAWING NUMBER
- SHEET WHERE DRAWN
- TARGET ELEVATION
- ELEVATION
- LEVEL NAME
- REVISION TAG
- REVISION CLOUD

NO.	DATE	REVISIONS	CUP COMMENTS
NO. 1	11-21-22		

MANNIX ARCHITECTURE

439 El Cajon Blvd.
El Cajon, CA 92020
Office: (619) 588-7730
www.mannixarch.com
Cell: (619) 302-7730
Fax: (619) 588-2932

TITLE 24 ENERGY

ENVELOPE
NO CHANGES TO THE ORIGINAL PERMITTED DESIGN. NO NEW TITLE 24 ENVELOPE DESIGN IS REQUIRED.

LIGHTING
CHANGES TO THE ORIGINAL PERMITTED DESIGN IS ANTICIPATED. CHANGES TO THE ALTERED LIGHTING REQUIRES NEW TITLE 24 LIGHTING.

HVAC
NO CHANGES TO THE ORIGINAL PERMITTED DESIGN. NO NEW TITLE 24 HVAC DESIGN IS REQUIRED.

Deferred Submittal

- Fire Sprinkler Design : Calculations and Layout submitted during plan check for review. FULLY FIRE SPRINKLERED NFPA COMPLIANT
- Fire Alarm Design : Layout submitted during plan check for review. FIRE ALARM WITH OFF SITE MONITORING

Building Submittal

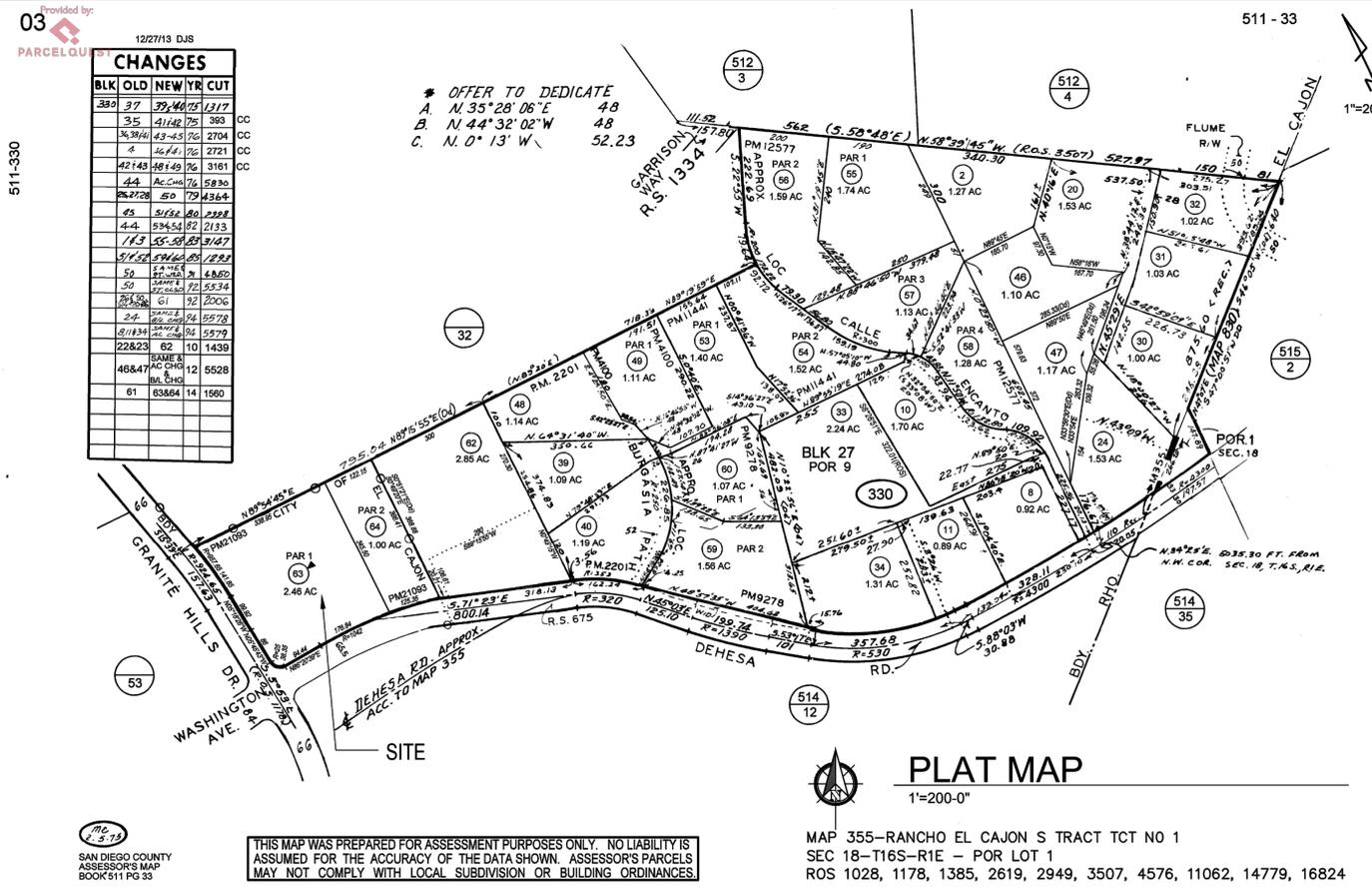
Construction Documents shall be submitted to the building and related departments for approval.

Plans shall indicate building path of travel, restroom details as per the CBC for approval.

Acoustical Analysis

See attached Acoustical Analysis report.

Eilar Associates, Inc.
210 South Juniper Street, Suite 100
Escondido, CA 92021
619-938-4864
info@eilarassociates.com
Job # S221004
November 18, 2022



School Activities

Kidinnu Academy engages in many learning and recreational activities throughout the day. A typical day will likely include:

- The majority of staff begin their professional day 30 minutes before students arrive.
- Student arrival will be staggered from 7:30 - 8 AM.
- A whole school assembly (either in person or over the sound system)
- Classroom learning activities that include Reading, Writing, Math, Social Studies, Science, and class meeting/social-emotional learning opportunities
- Each class will participate in a grade-alike recess and lunch period. During lunch, students will spend approximately 20 minutes eating and 20 minutes playing. Students can eat a snack during their 20-minute recess.
- Each class is assigned a PE period where they can use the playground area for approximately 40 minutes once a week.
- Mondays are typically a minimum day schedule with students dismissing from 1:10 - 1:30 in staggered grade-alike groups.
- Tuesday - Friday's dismissal schedule occurs from 2:20 - 2:40 in staggered grade-alike groups.

Some other school activities that occur include:

- Student recognition ceremonies—weekly Caught 'Ya's during our daily whole school assembly. Student of the Month occurs one time per month.
- Assemblies—guest speakers and presenters are invited to campus
- Parent/Community Events—parent coffee, parent leadership team meetings (Site Council, Parent Advisory Committee, English Language Advisory Committee).
- School festivals—Field Day, Fall Festival—teachers host activities that students can participate in

Day-to-Day operations narrative

- Before School
 - Staff arrive on campus 30 minutes before students. They park on the west and south sides of campus.
 - Gates are open to allow for queuing line to wrap around the site
 - Arrival staff stand in designated zone to open car doors, greet students, and ensure that the arrival lines keep moving. Currently we have 5 staff members who are assigned to this role.
- Arrival (staggered)
 - Arrival staff will open car doors and ensure each child is able to safely enter the school building. Students will be sent directly to "breakfast" classrooms where they will be able to eat their breakfast with supervising staff.
 - Staggered arrival times will occur based on grade level, with siblings/carpools being assigned to a specific window of time
 - 3rd - 5th grade arrival window--7:35 - 7:45
 - 1st and 2nd grade--7:50 - 8:00
 - TK and Kindergarten--8:05 - 8:15
 - The whole school assembly will occur via loudspeaker at 8:20 AM
- Playground Use and Equipment
 - The playground will have portable equipment only including basketball hoops, soccer nets, hula hoops/jump ropes, and balls
 - The playground zone will have a painted backdrop with designated soccer/basketball areas, four square, hopscotch, etc.
 - Gates will exist on both ends of the playground. These gates will be closed immediately after the last scheduled arrival and will be opened when classes are finished.
- Dismissal (staggered)
 - Monday dismissal times will be as follows:
 - TK/K: 1:10 PM
 - 1st/2nd: 1:20 PM
 - 3rd - 5th: 1:30 PM
 - Tuesday - Friday dismissal times will be as follows:
 - TK/K: 2:20 PM
 - 1st/2nd: 2:30 PM
 - 3rd - 5th: 2:40 PM
 - Note—Under the after school program, all classes will be offering aftercare instruction. Currently, 52% of our students use this program and are picked up at varying times after school.

THESE DRAWINGS & SPECIFICATIONS ARE THE PROPERTY OF MANNIX ARCHITECTURE & SHALL NOT BE USED, REPRODUCED, IN WHOLE OR PART, ON ANY OTHER WORK OTHER THAN THE DESIGNATED PROJECT WITHOUT THE EXPRESSED WRITTEN CONSENT OF MANNIX ARCHITECTURE. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS & SHALL BE VERIFIED ON JOB SITE BY INSTALLER. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF MANNIX ARCHITECTURE PRIOR TO COMMENCEMENT OF ANY WORK.

The Kidinnu Academy
1701 Granite Hills Drive El Cajon CA 92019
CUP
Tenant Improvements



PROJECT	CUP CLASSROOMS T.I.
DATE	8-25-22
SCALE	1"=200'-0"
DRAWN	DANIEL MANNIX
APPROVED	DANIEL MANNIX
JOB NO.	22001
General Data	T1
PAGE #	TOTAL

(E) GATES TO REMAIN OPEN / CLOSED AT NIGHT
SINGLE POINT OF ACCESS UTILIZED

66

(P) Accessible Path of Travel

Accessible Site Signage
(E) Sidewalk Path of Travel

REMOVE PARKING SPACES
CONVERT TO STUDENT RECESS AREA

PLANIMETRIC SURVEY

SEE THE ATTACHED SURVEY:
IDY LAND SURVEYING 1 OF 1 SHEET

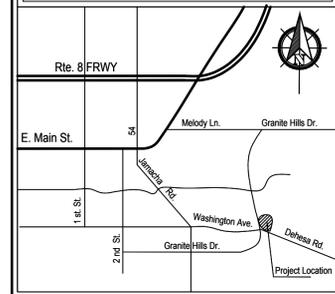
ESTIMATED SCHOOL HOURS

Current School Hours:
MONDAY is a MINIMUM DAY for ALL STUDENTS
TK/K: 8:05 AM-8:15 AM 1:10 PM
1st/2nd: 7:50-8:00 AM - 1:20 PM
3rd/4th/5th: 7:35 AM-7:45 AM - 1:30 PM
TUESDAY - FRIDAY
TK/K: 8:05 AM-8:15 AM 2:20 PM
1st/2nd: 7:50-8:00 AM - 2:30 PM
3rd/4th/5th: 7:35 AM-7:45 AM - 2:40 PM
After School: Limited Use to- 6:00 PM

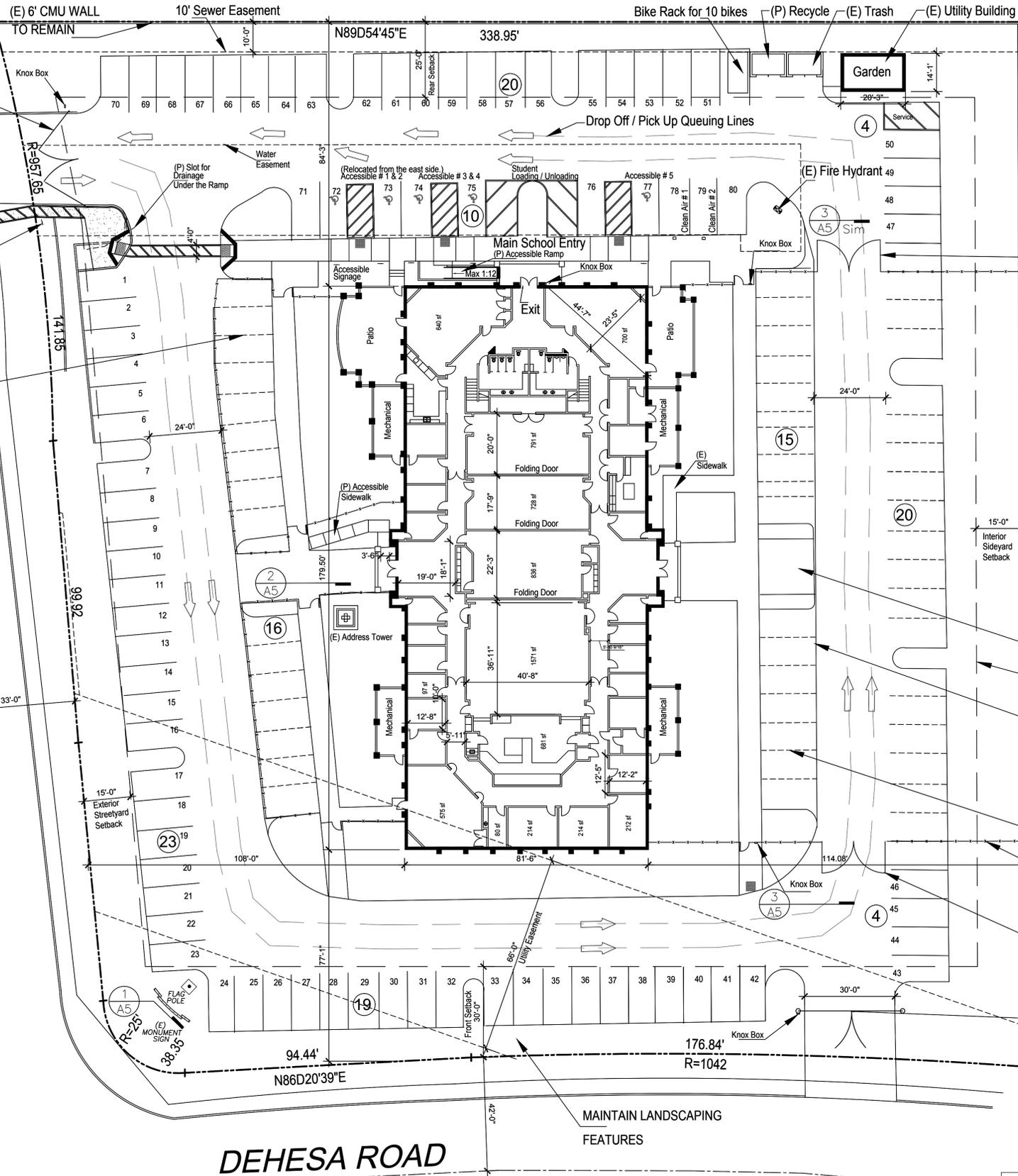
PROJECTED OCCUPANCY

(P) 249 Students
(P) 12 Teachers
(P) 12 Aides
(P) 1 Kitchen Staff
(P) 2 Office Staff
(P) 2 Administration Staff
(P) Staff Total: 29

VICINITY MAP



GRANITE HILLS DRIVE



DEHESA ROAD

69

WASHINGTON AVE

84



(E) SITE PLAN

1"=20'-0"

CAR QUEUING CALCULATIONS

Student Drop Off / Pick up Queuing Line
One way for drop off and pick up
826 LF X 2 LINES = 1652 LF
1652 LF / 20 FT = 83 CARS
249 / 83 = 3 Staggered Groups
Staggered Drop Off and Pick Up times
Use 3 time slots for on site queuing.
After drop off and pick up, the site parking lot will be utilized as 2-way.

PAIR 12' GATES REMAIN OPEN DURING
DROP OFF AND PICK UP

PARKING CALCULATIONS

(E) 139 PARKING SPACES
(R) 59 PARKING SPACES
(P) 80 PARKING SPACES PROVIDED
(P) Staff Total: 29
CBC 2019 Accessible Spaces: 11B-208.2
101-150: 5 Spaces required, 5 Provided
CLASSROOMS: 6783 SF/ 200=34 SPACES
OFFICE: 2323 SF/ 250=9.29 SPACES
STORAGE: 396 SF/ 1000= 3 SPACES
MECHANICAL: 470 SF/ 1000=47 SPACES
VISITORS: 2323 SF/ 250=9.29 SPACES
TOTAL: 53 SPACES
53 SPACES < 80 SPACES ok
23+19+4+4+20+10=80 SPACES PROVIDED
(19) INDICATES SUM OF PARKING SPACES

- RECESS AREA
- SETBACK BOX
- MAINTAIN LOOP FIRE ACCESS
- RED CURB
- REMOVE PARKING SPACES
- CONVERT TO STUDENT RECESS AREA
- 6' HIGH BLACK IRON FENCE / 4" MAXIMUM SPACE
- (E) 6' CMU WALL TO REMAIN
- PAIR 12' GATES REMAIN OPEN DURING DROP OFF AND PICK UP
- GATES REMAIN CLOSED
- SINGLE POINT OF ACCESS UTILIZED @ GRANITE HILLS DRIVE
- MAY BE UTILIZED FOR EMERGENCY USE
- PROVIDE KNOX BOX

DRAWN BY: MANNIX ARCHITECTURE
ADDRESS: 439 EL CAJON BLVD.
EL CAJON, CA 92020
PHONE: 619-588-7730

CITY OF El Cajon, CA

PERMIT NO. PRESUB-2022-0088

Kidinnu Academy
APPLICANT: 1701 Granite Hills Drive El Cajon, CA 92019
ASSESSOR PARCEL NO: 511-330-63-00
REQUEST: CUP: The Church of Jesus Christ of Latter-Day Saints has currently vacated the building. The application is to convert the building into a Charter School
Kidinnu Academy. The existing location is at 1025 N. Second St El Cajon CA 92021.

PC RESOLUTION No. _____ APPROVED BY: _____
CC RESOLUTION No. _____
ORDINANCE No. _____ DATE: _____

NO.	DATE	REVISIONS	CUP COMMENTS
NO.1	11-21-22		

MANNIX ARCHITECTURE
439 El Cajon Blvd.
El Cajon, CA 92020
Office: (619) 588-7730
www.mannixarch.com
Cell: (619) 302-7730
Fax: (619) 588-2932

The Kidinnu Academy 1701 Granite Hills Drive El Cajon CA 92019
CUP Tenant Improvements



PROJECT: CUP CLASSROOMS T.I.
DATE: 8-25-22
SCALE: 1"=20'-0"
DRAWN: DANIEL MANNIX
APPROVED: DANIEL MANNIX
JOB NO.: 22001
Existing Site Plan
A1
PAGE # TOTAL

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SUBJECT TO BUILDING DEPARTMENT APPROVAL

LEGAL DESCRIPTION:

THE LAND REFERRED TO IS SITUATED IN THE COUNTY OF SAN DIEGO, CITY OF EL CAJON, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1 OF PARCEL MAP NO. 21093, IN THE CITY OF EL CAJON, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED IN THE RECORDER'S OFFICE OF SAID SAN DIEGO COUNTY ON NOVEMBER 21, 2013 AS FILE NO. 2013-0687442 OF OFFICIAL RECORDS.

APN: 511-330-63-00

LEGAL DESCRIPTION FURNISHED IN OLD REPUBLIC TITLE COMPANY'S ORDER NO. NCT21051443, DATED AS OF AUGUST 24, 2022 AT 7:30 AM.

NOTES REGARDING PRELIMINARY TITLE REPORT:

THIS ALTA/NSPS LAND TITLE SURVEY IS BASED ON THE DESCRIPTIONS FURNISHED IN OLD REPUBLIC TITLE COMPANY'S ORDER NO. NCT21051443, DATED AS OF AUGUST 24, 2022 AT 7:30 AM.

- ④ AN EASEMENT GRANTED TO SAN DIEGO CONSOLIDATED GAS AND ELECTRIC COMPANY AFFECTING THAT PORTION OF SAID LAND FOR THE RIGHT AND PRIVILEGE TO PLACE AND MAINTAIN AN ANCHOR TO SUPPORT A LINE OF POLES AND WIRES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED JUNE 13, 1914 IN BOOK 651 OF DEEDS, PAGE 319. DOCUMENT SUPPLIED DOES NOT MATCH THE DESCRIPTION ABOVE AND APPEARS TO BE FROM SAN BERNARDINO COUNTY.
- ⑤ AN EASEMENT AND RIGHT OF WAY FOR ROAD AND PIPELINE AND INCIDENTAL PURPOSES, AS GRANTED BY INSTRUMENT RECORDED DECEMBER 14, 1928 IN BOOK 1572 PAGE 82 OF DEEDS, AND THE RIGHT OF OTHERS TO USE SAID EASEMENT AS CONVEYED OR RESERVED IN VARIOUS OTHER INSTRUMENTS OF RECORD, OVER, UNDER, ALONG AND ACROSS THE HEREIN DESCRIBED PROPERTY. DOCUMENT SUPPLIED DOES NOT MATCH THE DESCRIPTION ABOVE AND APPEARS TO BE FROM SAN BERNARDINO COUNTY.
- ⑥ AGREEMENT FOR CONVEYANCE OF REAL PROPERTY EXECUTED BY: WILMA G. CARMODY, GRANTOR AND BETWEEN: JOHN P. GINSBACH, GRANTEE ON THE TERMS, COVENANTS AND CONDITIONS CONTAINED THEREIN, DATED SEPTEMBER 28, 1960 AND RECORDED MARCH 9, 1961 IN OFFICIAL RECORDS AS FILE NUMBER 43239. NOT A SURVEY MATTER
- ⑦ AN EASEMENT GRANTED TO SAN DIEGO GAS & ELECTRIC COMPANY, A CORPORATION AFFECTING THAT PORTION OF SAID LAND AND FOR PUBLIC UTILITIES THE AND INCIDENTAL PURPOSES RECORDED OCTOBER 7, 1968 IN OFFICIAL RECORDS AS INSTRUMENT NUMBER 174381. DOES AFFECT - PLOTTED HEREON
- ⑧ AGREEMENT FOR: CONSTRUCTION OF PUBLIC IMPROVEMENTS EXECUTED BY THE CITY OF POWAY ("CITY") AND BETWEEN: CORPORATION OF THE PRESIDING BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION SOLE ("OWNER") ON THE TERMS, COVENANTS AND CONDITIONS CONTAINED THEREIN, DATED OCTOBER 30, 1990 AND RECORDED DECEMBER 6, 1990 IN OFFICIAL RECORDS AS FILE NUMBER 90-651894. DOES NOT AFFECT - LOCATED IN POWAY, CA.
- ⑨ AN EASEMENT GRANTED TO HELIX WATER DISTRICT, A POLITICAL SUBDIVISION SITUATE WHOLLY IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AFFECTING THAT PORTION OF SAID LAND AND FOR THE LAYING UNDERGROUND WATER PIPELINE(S) FROM TIME TO TIME AND INSTALLING METERS, VALVES AND OTHER ABOVE OR UNDERGROUND APPURTENANT STRUCTURES, TOGETHER WITH THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, REPAIR AND REPLACE SAID PIPELINE(S) AND APPURTENANT STRUCTURES, AND RIGHT OF INGRESS AND EGRESS FOR SUCH PURPOSES AND INCIDENTAL PURPOSES RECORDED MARCH 8, 1991 IN OFFICIAL RECORDS AS FILE NUMBER 1991-0104035. DOES AFFECTS - PLOTTED HEREON
- ⑩ AN EASEMENT RESERVED BY THE CITY COUNCIL OF THE CITY OF EL CAJON AFFECTING THAT PORTION OF SAID LAND AND FOR THE EASEMENT AND RIGHT AT ANY TIME, OR FROM TIME TO TIME, TO CONSTRUCT, MAINTAIN, OPERATE, REPLACE, REMOVE, RENEW AND ENLARGE LINES OF PIPE, CONDUITS, CABLES, WIRES, POLES, AND OTHER CONVENIENT STRUCTURES, EQUIPMENT, AND FIXTURES FOR THE OPERATION OF TELEGRAPHIC AND TELEPHONE LINES, INCLUDING ACCESS TO PROTECT SUCH WORKS FROM ALL HAZARDS IN, UPON, AND OVER THE STREET PROPOSED TO BE VACATED AND INCIDENTAL PURPOSES AS STATED IN "RESOLUTION NO. 330-91", RECORDED AUGUST 8, 1991 IN OFFICIAL RECORDS AS INSTRUMENT NUMBER 1991-0401296. DOES AFFECT - PLOTTED HEREON - SECTION 2, PARAGRAPH 4 OF SAID RESOLUTION STATES "SAID VACATION IS SUBJECT TO SAID RESERVATIONS AND EXCEPTIONS. SAID RESERVATIONS AND EXCEPTIONS SHALL BE VOID AND OF NO FURTHER FORCE AND EFFECT AFTER DECEMBER 01, 1991.
- ⑪ ANY RIGHTS, EASEMENTS, INTERESTS OR CLAIMS THAT MAY EXIST OR ARISE BY REASON OF, OR REFLECTED BY, RECITALS SHOWN OR NOTED UPON A FILED MAP, AS FOLLOWS MAP ENTITLED "PARCEL MAP NO. 21093" FILED ON: NOVEMBER 21, 2013 AS INSTRUMENT NUMBER 2013-0687442 WHICH SAYS: "PROPOSED 10' PRIVATE SEWER EASEMENT FOR THE BENEFIT OF PARCEL 2. SEWER EASEMENT TO BE INCLUDED WITH THE GRANT DEED FOR PARCEL 2 UPON SALE." DOES AFFECT - PLOTTED HEREON
- ⑫ MATTERS AS CONTAINED OR REFERRED TO IN AN INSTRUMENT ENTITLED "SEWER EASEMENT AGREEMENT", EXECUTED BY: CORPORATION OF THE PRESIDING BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION SOLE AND RANDALL C. LEAVITT, A MARRIED MAN, AS HIS SOLE AND SEPARATE PROPERTY, DATED DECEMBER 3, 2013, RECORDED DECEMBER 16, 2013 IN OFFICIAL RECORDS AS INSTRUMENT NUMBER 2013-072389. DOES AFFECT - PLOTTED HEREON

SURVEYOR'S NOTES:

1. NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
2. NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
3. NO OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES COMPLETED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION AND NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
4. PARCEL HAS DIRECT PHYSICAL ACCESS TO DEHESA ROAD AND GRANITE HILLS DRIVE, EACH PUBLIC STREETS OR HIGHWAYS.
5. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS; ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
6. ALL OFFSITE EASEMENTS ARE SHOWN TO THE EXTENT POSSIBLE PER THE DOCUMENTS THAT HAVE BEEN PROVIDED WITHIN THE TITLE COMMITMENT REFERENCED HEREON.
7. NO WETLANDS FLAGS OR MARKS, MADE BY A QUALIFIED WETLANDS BIOLOGIST, WERE FOUND AT THE SUBJECT PARCEL. SURVEYOR OF RECORD IS NOT QUALIFIED TO MAKE ANY CERTIFICATION AS TO THE EXISTENCE OR NON-EXISTENCE OF WETLANDS.
8. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN OLD REPUBLIC TITLE COMPANY'S ORDER NO. NCT21051443, DATED AS OF AUGUST 24, 2022 AT 7:30 AM. AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.
9. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF CALIFORNIA.

PROPERTY NOTES:

1. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 06073C-1666-G, WHICH BEARS AN EFFECTIVE DATE OF MAY 16, 2012. "ZONE X" AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL.
2. SUBJECT PARCEL HAS 136 STANDARD PARKING SPACES AND 4 HANDICAP PARKING SPACES.
3. THE TOTAL AREA OF THE SUBJECT PROPERTY: ±107,368 SQ. FT. OR 2.465 ACRES
4. SITE ADDRESS: 1701 GRANITE HILLS DRIVE
5. NO ZONING REPORT SUPPLIED

SURVEYOR'S CERTIFICATE:

TO: KIDINNU ACADEMY; OLD REPUBLIC TITLE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 16, AND 17 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON SEPTEMBER 07, 2022.

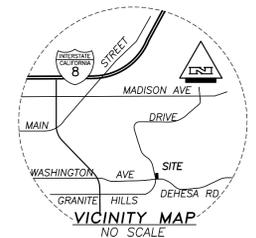
DATE OF PLAT OR MAP: NOVEMBER 18, 2022.

William P. Tipple

WILLIAM P. TIPPLE, PLS 8197
12/31/2022
WTIPPLE@IDY-LS.COM

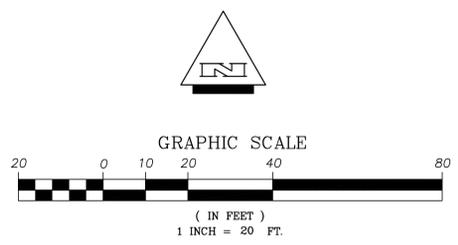
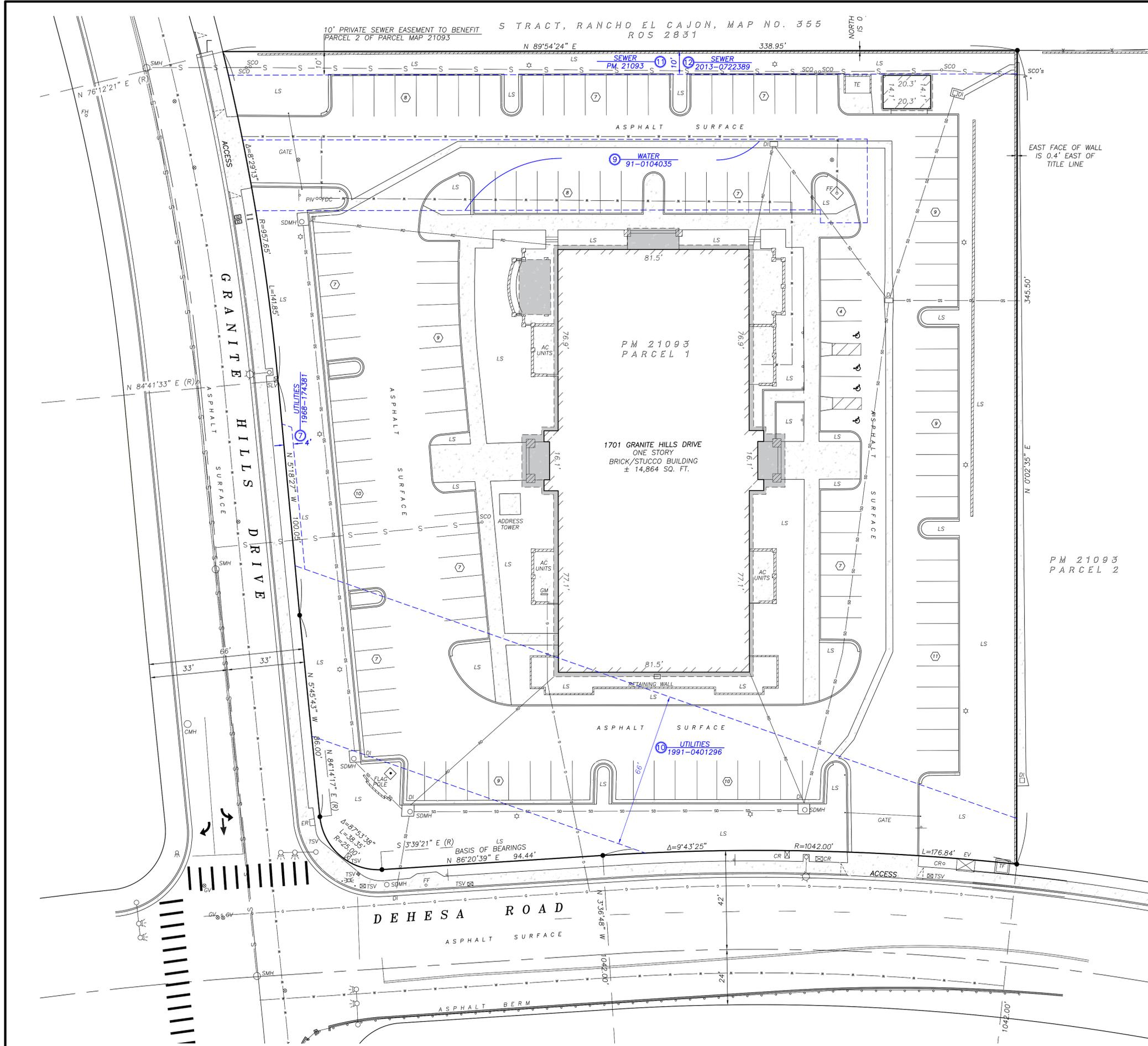


NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATE BY A LICENSED SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS, ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.



A1.1

ALTA/NSPS TITLE SURVEY		
Kidinnu Academy 1025 North Second Street El Cajon, CA 92021		
IDY LAND SURVEYING, INC 2062 Santa Lomas, El Cajon, California 92019 54621 South Circle Drive, Idyllwild, California 92549 Phone: (619) 884-5707		
Date: 10/31/2022	Revised:	Revised:
Scale: N/A	Drawn by: BH/WPT	Sheet 1 of 2 Sheet
Drawing:	APN:	511-330-63-00



BASIS OF BEARING
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTH LIEN OF PARCEL 1 PER PARCEL MAP NO. 21093. I.E., N 86°20'39" E.

- LEGEND:**
- FOUND IRON PIN & CAP "RCE 20516" PER PM 21093
 - - - EASEMENT LINE
 - PROPERTY LINE
 - ▭ CONCRETE SURFACE
 - ▨ BUILDING OVERHANG
 - ▩ BLOCK WALL
 - ▧ BUILDING FACE
 - CHAIN LINK FENCE
 - WROUGHT IRON FENCE
 - ☆ AREA LIGHT
 - BACK FLOW PREVENTOR
 - CMH COMMUNICATION MANHOLE
 - CR COMMUNICATION RISER
 - CV COMMUNICATION VAULT
 - DI DRAINAGE INLET
 - EV ELECTRIC VAULT
 - FDC FIRE DEPARTMENT CONNECTION
 - FH FIRE HYDRANT
 - GM GAS METER
 - GV GAS VALVE
 - GUARDRAIL
 - ⊕ HANDICAP PARKING SPACE
 - LS LANDSCAPING AREA
 - POST
 - PIV POST INDICATOR VALVE
 - ⊙ PARKING COUNT
 - SCC SEWER CLEANOUT
 - SIGN
 - SDMH STORM DRAIN MANHOLE
 - STREET LIGHT
 - SLV STREET LIGHT VAULT
 - SMH SEWER MANHOLE
 - ⊕ TRAFFIC SIGNAL
 - TF TRANSFORMER/FUSEBOX
 - TSV TRAFFIC SIGNAL VAULT
 - ⊕ WATER GATE VALVE
 - ⊕ WATER METER
 - ROOF DRAIN
 - UNDERGROUND GAS LINES
 - UNDERGROUND SEWER LINES
 - UNDERGROUND WATER LINES
 - UNDERGROUND STORM DRAIN PIPES

POSSIBLE ENCROACHMENTS

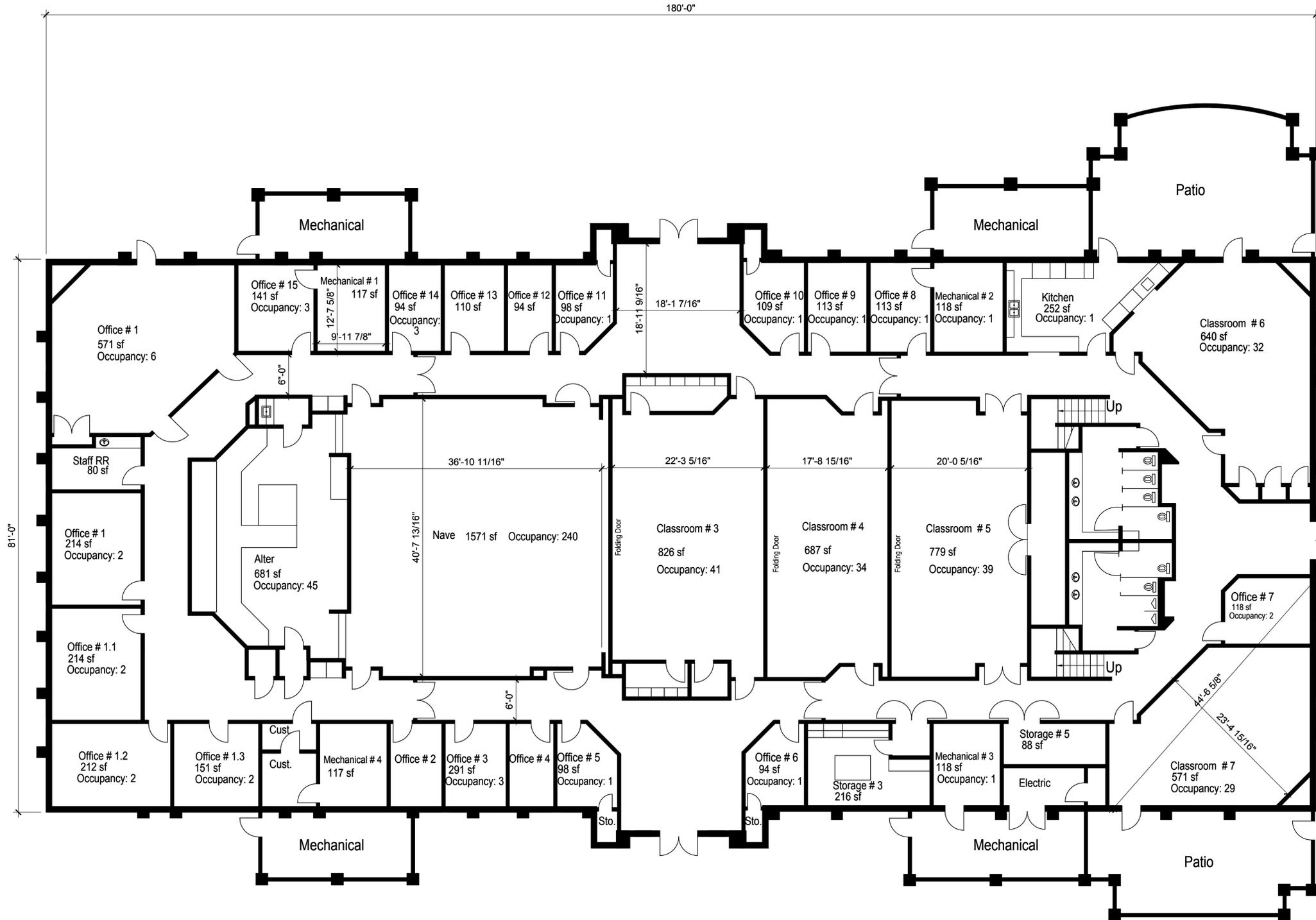
NONE OBSERVED

UTILITY STATEMENT:
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

ALTA/NSPS TITLE SURVEY		
Kidinnu Academy 1025 North Second Street El Cajon, CA 92021		
IDY LAND SURVEYING, INC 2062 Santa Lomas, El Cajon, California 92019 54621 South Circle Drive, Idyllwild, California 92549 Phone: (619) 884-5707		
Date: 10/31/2022	Revised:	Revised:
Scale: 1"=20'	Drawn by: BH/WPT	Sheet 2 of 2 Sheet
Drawing:	APN: 511-330-63-00	

A1.2

THESE DRAWINGS & SPECIFICATIONS ARE THE PROPERTY OF MANNIX ARCHITECTURE & SHALL NOT BE USED OR REPRODUCED (IN WHOLE OR PART) ON ANY OTHER WORK OTHER THAN THAT FOR WHICH THEY WERE PREPARED. ANY REUSE OF THESE DRAWINGS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF MANNIX ARCHITECTURE SHALL BE PROHIBITED. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF MANNIX ARCHITECTURE PRIOR TO COMMENCEMENT OF ANY WORK. SHALL BE VERIFIED ON JOB SITE BY INSTALLER. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF MANNIX ARCHITECTURE PRIOR TO COMMENCEMENT OF ANY WORK.

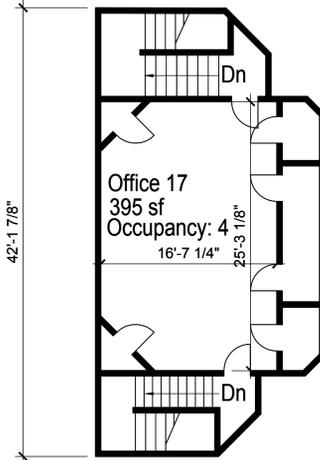


(E) OCCUPANCY TABLE		
Office # 1-17 2900 sf/100 Total Occupants: 29 B Occupancy	Storage 396 sf/1000 Total Occupants: 3 B Occupancy	Alter 681 sf Occupancy: 45 Nave 1571 sf Occupancy: 240
		Classroom # 3 826 sf Occupancy: 41
		Classroom # 4 687 sf Occupancy: 34
		Classroom # 5 779 sf Occupancy: 39
		Classroom # 6 640 sf Occupancy: 32
		Classroom # 7 696 sf Occupancy: 29
Building Total Occupants: 489 B / A-1 Occupancy		Total Occupants: 460 A-1 Occupancy

NO.	DATE	REVISIONS	CUP COMMENTS
NO.1	11-21-22		

MANNIX ARCHITECTURE

439 El Cajon Blvd.
 El Cajon, CA 92020
 Office: (619) 588-7730
 Cell: (619) 302-7730
 Fax: (619) 588-2932
 dan@mnnxarch.com
 www.mnnxarch.com



(E) FLOOR PLAN
 1/8"=1'-0"

WALL LEGEND	
	(E) 2x Wood Studs / Stucco Exterior / Drywall Interior

The Kidinu Academy
 1701 Granite Hills Drive El Cajon CA 92019
CUP Tenant Improvements

PROJECT: CUP CLASSROOMS T.I.
 DATE: 8-25-22
 SCALE: 1/8"=1'-0"
 DRAWN: DANIEL MANNIX
 APPROVED: DANIEL MANNIX
 JOB NO.: 22001

(E) Floor Plan
A2
 SHEET

5 PAGE # TOTAL 9



(P) FLOOR PLAN

1/8"=1'-0"

(P) OCCUPANCY TABLE

Office # 1-17 2323 sf / 100 Total Occupants: 232 B Occupancy	Storage 396 sf / 1000 Total Occupants: 3 B Occupancy	Classroom # 1 737 sf Occupancy: 37
Kitchen 252 sf / 300 Total Occupants: 1 B Occupancy		Classroom # 2 749 sf Occupancy: 37
		Classroom # 3 826 sf Occupancy: 41
		Classroom # 4 687 sf Occupancy: 34
		Classroom # 5 779 sf Occupancy: 39
		Classroom # 6 640 sf Occupancy: 32
		Classroom # 7 571 sf Occupancy: 29
		Classroom # 8 665 sf Occupancy: 33
		Classroom # 9 571 sf Occupancy: 29
		Classroom # 10 558 sf Occupancy: 28
		Total Occupants: 339
Actual Total Occupants: 249 Students E Occupancy Actual Total Occupants: 29 Staff B Occupancy Building Total Occupants: 278 Actual Occupants 278 < 364 ok		Building Total Occupants: 364 per CBC Maximum B / A-1 Occupancy

LEGEND

- (E) 2x Wood Studs / Stucco Exterior / Drywall Interior
- (P) 3 5/8" Metal Studs Drywall each Side
- (P) Door open / close button each side of door for accessible access where strike distance is less than the minimum.
- New Wall

NO.	DATE	REVISIONS	CUP COMMENTS
NO. 1	11-21-22		

MANIX ARCHITECTURE
 dan@mnnixarch.com
 439 El Cajon Blvd.
 El Cajon, CA, 92020
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 Fax: (619) 568-2932
 www.mnnixarch.com

The Kidinnu Academy
 1701 Granite Hills Drive El Cajon CA 92019
 CUP Tenant Improvements



SUBJECT TO BUILDING DEPARTMENT APPROVAL

PROJECT: CUP CLASSROOMS T.I.
 DATE: 8-25-22
 SCALE: 1"=20'-0"
 DRAWN: DANIEL MANNIX
 APPROVED: DANIEL MANNIX
 JOB NO.: 22001

1) Floor Plan
A3
 SHEET

PAGE # TOTAL

Performance Standards

17.115.130 Performance standards.

All uses and operations within the city shall be subject to the following minimum performance standards:

A. Air quality.

1. Smoke. In accordance with section 24242 of the California Health and Safety Code, a person shall not discharge smoke into the atmosphere for a period or periods aggregating more than three (3) minutes in any one (1) hour, which is:

- As dark or darker in shade as that designated as No. 1 on the Ringelmann Chart, as published by the U.S. Bureau of Mines; or
- Of such opacity as to obscure an observer's view to a degree equal to or greater than does smoke described above.

2. Air pollution. Fly ash, dust, fumes, vapors, gases, and other forms of air pollution, in accordance with section 24243 of the California Health and Safety Code. A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which will cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public or which endanger the comfort, repose, health or safety of any such persons or the public or which cause or have a natural tendency to cause injury or damage to animals, vegetation, business or property. In no event shall any emission from any chimney or other source, or any solid or liquid particles in concentration exceed 0.4 grains per cubic foot of the conveying gas at any point.

3. Odors. No emission shall be permitted of odorous gases or other odorous matter in such quantities as to be readily detectable at the property line of the use from which such odor emits, or at the point of greatest concentration if further than the lot line. Any process that may involve the creation or emission of any odors shall be provided with an adequate secondary safeguard system of control, so that control will be maintained if the primary safeguard system should fail. In no event shall odors, gases or other odorous matter be emitted in such quantities as to be readily detectable when diluted in a ratio of one (1) volume of odorous air to four (4) volumes of clean air.

B. Water quality

1. Wastes into surface runoff. Any discharge of liquid industrial wastes of any sort to surface streams, flood control channels, storm drains and subsurface pits shall be prohibited in conformance with applicable storm water regulations.

2. Wastes into sanitary sewer. Any wastes discharged into the city sanitary sewer, which may require pretreatment, depending upon the type, concentration and volume of material being handled, shall conform to the requirements of Title 13 of the code of the city.

3. Wastes disposed by hauling. Any industry hauling liquid wastes off-site for disposal shall obtain and conform to waste discharge requirements of the California Regional Water Quality Control Board, San Diego Region, which will necessitate hauling such wastes to a Class I site for disposal.

C. Noise.

1. The sound level of any individual operation, land use, or activity other than rail, aircraft, street, or highway transportation, shall not exceed the sound levels indicated in the following table. For the purpose of determining compliance with these noise limitations, the sound levels shall be measured at the property lines of the property upon which the operation, land use, or activity is conducted.

All residentially zoned properties 7 a.m.—7 p.m. 60 db
One-Hour Average Sound Level Decibels 7 p.m.—10 p.m. 55db 10 p.m.—7 a.m. 50 db.

2. Interior lease lines, N / A single tenant.

Performance Standards

3. Equipment noise. It is unlawful for any person within any residential zone, or within a radius of five hundred (500) feet from any residential zone, to operate equipment or perform any outside construction, maintenance or repair work on buildings, structures, landscapes or related facilities, or to operate any pile driver, power shovel, pneumatic hammer, power hoist, leaf blower, mower, or any other mechanical device, between the hours of 7 p.m. of one (1) day and 7 a.m. of the next day in such a manner that a reasonable person of normal sensitivities residing in the area is caused discomfort or annoyance. This subsection shall also apply to any property in the Mixed-Use zone having one or more residential units. This restriction does not apply to emergency work made necessary to restore power to a safe condition, restore utility service, or to protect persons or property from an imminent exposure to danger.

4. Vehicle Repairs. N/A

5. Property upkeep.

a. Exterior yards, including front yard setback areas in residential zones, shall be maintained in a clean and sanitary condition, free of garbage, debris, demolition waste, overgrown vegetation, scrap wood and metal, automotive or recreational vehicle parts and fluids, defective appliances or machinery, mattresses or other indoor furnishings, whether in a state of repair or not. This does not include firewood which is neatly stacked and maintained or outdoor furniture in good repair.

b. Properties shall not harbor rodents or insect infestations.

6. Refuse vehicles and parking lot sweepers. No person shall operate or permit to be operated a refuse compacting, processing or collection vehicle or parking lot sweeper between the hours of 7 p.m. of one (1) day and 7 a.m. of the next day in any residential zone.

7. Notwithstanding any other provision of this chapter, and in addition thereto, it is unlawful for any person to willfully make or continue, or cause to be made or continued, any loud, unnecessary, or unusual noise which disturbs the peace or quiet of any neighborhood, or which causes discomfort or annoyance to any reasonable person of normal sensitivity residing in the area. The standards which shall be considered in determining whether a violation of the provisions of this section exists shall include, but not be limited to, the following:

- The level of the noise;
- The intensity of the noise;
- Whether the nature of the noise is usual or unusual;
- Whether the origin of the noise is natural or unnatural;
- The level and intensity of the background noise, if any;
- The proximity of the noise to residential sleeping facilities;
- The nature and zoning of the area within which the noise emanates;
- The density of the inhabitation of the area within which the noise emanates;
- The time of the day or night the noise occurs;
- The duration of the noise;
- Whether the noise is recurrent, intermittent, or constant; and
- Whether the noise is produced by a commercial or noncommercial activity.

8. Specific exemptions. Special events of short duration, such as carnivals, fireworks displays, outdoor concerts, parades and sports activities, which are regulated by separate city approval such as a conditional use permit, are specifically exempted from the provisions of this chapter. Noise regulations for such events, however, may be applied as a condition of such separate approval.

9. Enforcement and penalties.

a. It is a violation for any property owner(s) and/or person(s) in control of property to permit or cause a noise disturbance to be produced upon property owned by them or under their control.

b. It is a violation for any person or persons to create or allow the making of noise disturbance as provided by this chapter at any location in the city.

Performance Standards

c. Any person violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor or infraction, and shall be subject to the provisions of the general penalty clause as set forth in section 1.24.010 of this code.

d. The operation or maintenance of any device, instrument, vehicle or machinery in violation of any provision of this chapter which causes or creates sound levels or vibration exceeding the allowable limits as specified in this chapter, is declared to be a public nuisance and may be subject to abatement summarily by a restraining order or injunction issued by a court of competent jurisdiction. Additionally, no provision of this chapter shall be construed to impair any common law or statutory cause or action, or legal remedy of any person for injury or damage arising from any violation of this chapter or from any other law.

D. Vibrations. Every use shall be so operated that the ground vibration generated by such use is not harmful or injurious to the use or development of surrounding properties. No vibration shall be permitted which is perceptible without instruments at any use along the property line on which such use is located. For the purpose of this determination, the boundary of any lease agreement or operating unit or properties operating as a unit shall be considered the same as the property line.

E. Radioactivity. No activities shall be permitted which emit dangerous radioactivity at any point.

F. Electrical disturbance. No activity shall be permitted which causes electrical disturbances affecting the operation of any equipment located beyond the property line of such activity.

G. Other performance quality. Other uses not specifically noted above are required to conform to performance standards as set forth by the following provisions:

1. No use shall be undertaken or maintained unless it conforms to the regulations set forth in this section. No land or building shall be used or occupied in any manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosion or other hazard, noise or vibration, smoke, dust, odor, airborne sand, materials in suspension such as paint droplets or any other form of air pollution, heat, cold, dampness, electrical or other disturbance, glare, liquid or solid refuse or wastes, or other substance, condition or element in such a manner or in such an amount as to affect adversely the surrounding area or adjacent premises.

H. Heating, Ventilation and Air Conditioning.

1. All HVAC units must attenuate noise to acceptable levels through one of the following standards:

- The HVAC must be kept a minimum of thirty (30) feet from the property line; or
- The HVAC must be surrounded by walls or parapet walls that obstruct the line of sight to adjacent uses; or
- The HVAC must be kept in a mechanical room; or
- An alternative noise attenuation measure that would reduce the noise levels to less than the applicable noise level limits.

Noises Prohibited

a. 9.44.010 Noises—Prohibited when loud, disturbing.

No person shall make, continue or cause to be made or continued, within the limits of the city, any loud, disturbing, or unusual noise which injures or endangers the health, peace or safety of persons of reasonable sensibilities: provided, that this section shall not in any way affect, restrict or prohibit any activities incidental to scientific or industrial research or manufacturing, construction or repairing conducted in areas zoned for such purposes.

The following acts, among others, are determined to be loud, disturbing and unusual noises, although such enumeration shall not be deemed to be exclusive:

A. The use or operation of any radio, receiving set, musical instrument, phonograph, loudspeaker, sound amplifier, or any other machine or device producing or reproducing sound which is cast upon the streets for the purpose of commercial advertising or attracting the attention of the public to any building or structure;

Noises Prohibited

B. The keeping of any animal in violation of Section 6.04.125 of this code;

C. The shouting and crying of peddlers, hawkers and vendors which disturbs the peace and quiet of the neighborhood;

D. The using, operating or permitting to be used or operated, any radio, musical instrument, phonograph, or any other machine or device for the reproducing of sound in such a manner as to disturb the peace, quiet or comfort of the neighboring inhabitants or business establishments by any restaurant, drive-in or other commercial establishment.

STORM WATER

Construction Stormwater BMP Notes:

1. All applicable temporary construction and non-stormwater discharge BMPs shall be implemented in accordance with the City of El Cajon minimum BMP requirements included in the El Cajon Municipal Code 13.10 and the City of El Cajon Jurisdictional Runoff Management Program (JRMF).

2. The owner/owner's contractor(s) are responsible for pollution prevention practices to prevent the discharge of sediment and pollutants to the public storm drain system.

3. The owner/owner's contractor(s) are responsible for the prevention of erosion caused by grading, clearing of vegetation, demolition or construction.

4. All stormwater BMPs shall be maintained for the duration of the project.

5. All applicable temporary construction erosion and sediment control BMPs shall be implemented for all portions of the project area where applicable. All onsite drainage pathways that convey concentrated flows shall be stabilized to prevent erosion.

6. Run-on from areas outside the project area shall be diverted around work areas to the extent feasible. Run-on that cannot be diverted shall be managed using appropriate erosion and sediment control BMPs.

7. Graded areas around the project perimeter will drain away from the face of slopes at the end of each working day.

8. Provide effective sediment perimeter control around project area to help prevent transport of soil and sediment offsite by using fiber rolls, gravel bags, or other equally effective BMPs.

9. Any sediment tracked onto offsite paved areas shall be removed via sweeping at least daily. All BMPs shall be installed and maintained in accordance with the applicable fact sheets (CASQA, County of San Diego, City of El Cajon).

10. Solid waste and other construction wastes shall be placed in a container daily located in a designated area and shall be disposed of in accordance with applicable requirements.

11. Construction Materials shall be stored in a manner to help avoid being transported in storm water runoff discharges. Concrete waste shall not be washed out onto the ground surface. Concrete washout shall be disposed properly and placed in a washout area designed in accordance with factsheets (CASQA, County of San Diego, City of El Cajon).

12. Erosion Control measures will be implemented starting the first day of clearing, grading or soil disturbance or construction. These controls will remain in effect until all relevant operations have been completed and disturbed soil have either: established vegetation; or other permanent erosion control at 70% completion).

13. Stockpiles and other sources of pollutants shall be covered when the chance of rain, within the next 48-hours with, is at least 50% precipitation.

14. All gravel bags shall have ¾ inch minimum aggregate (No sandbags or burlap type bags allowed).

15. In case of Emergency Contact Name: Christin Barkas
Phone: (619)938-4864

NO.	DATE	REVISIONS
NO.1	11-21-22	CUP COMMENTS

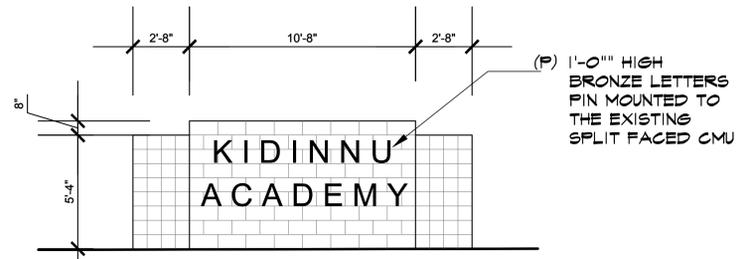
MANIX
ARCHITECTURE
499 El Cajon Blvd.
El Cajon, CA 92020
Office: (619) 588-7730
www.manixarch.com
Cell: (619) 302-7730
Fax: (619) 588-2932

The Kidinnu Academy
1701 Granite Hills Drive El Cajon CA 92019
CUP Tenant Improvements

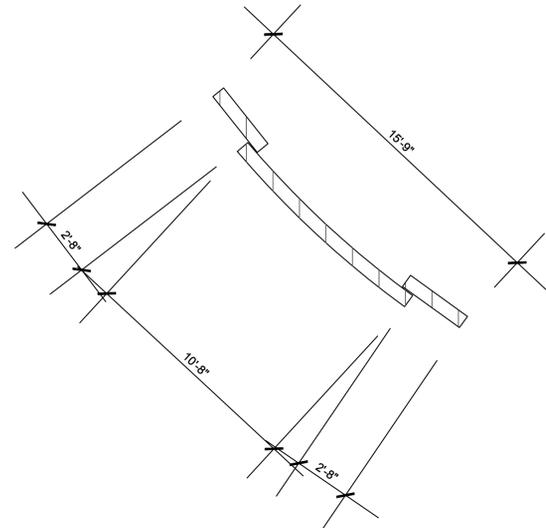


PROJECT: CUP CLASSROOMS T.I.
DATE: 8-25-22
SCALE: ---
DRAWN: DANIEL MANNIX
APPROVED: DANIEL MANNIX
JOB NO.: 22001
Notes: A4 (Sheet)
PAGE # 7 TOTAL 9

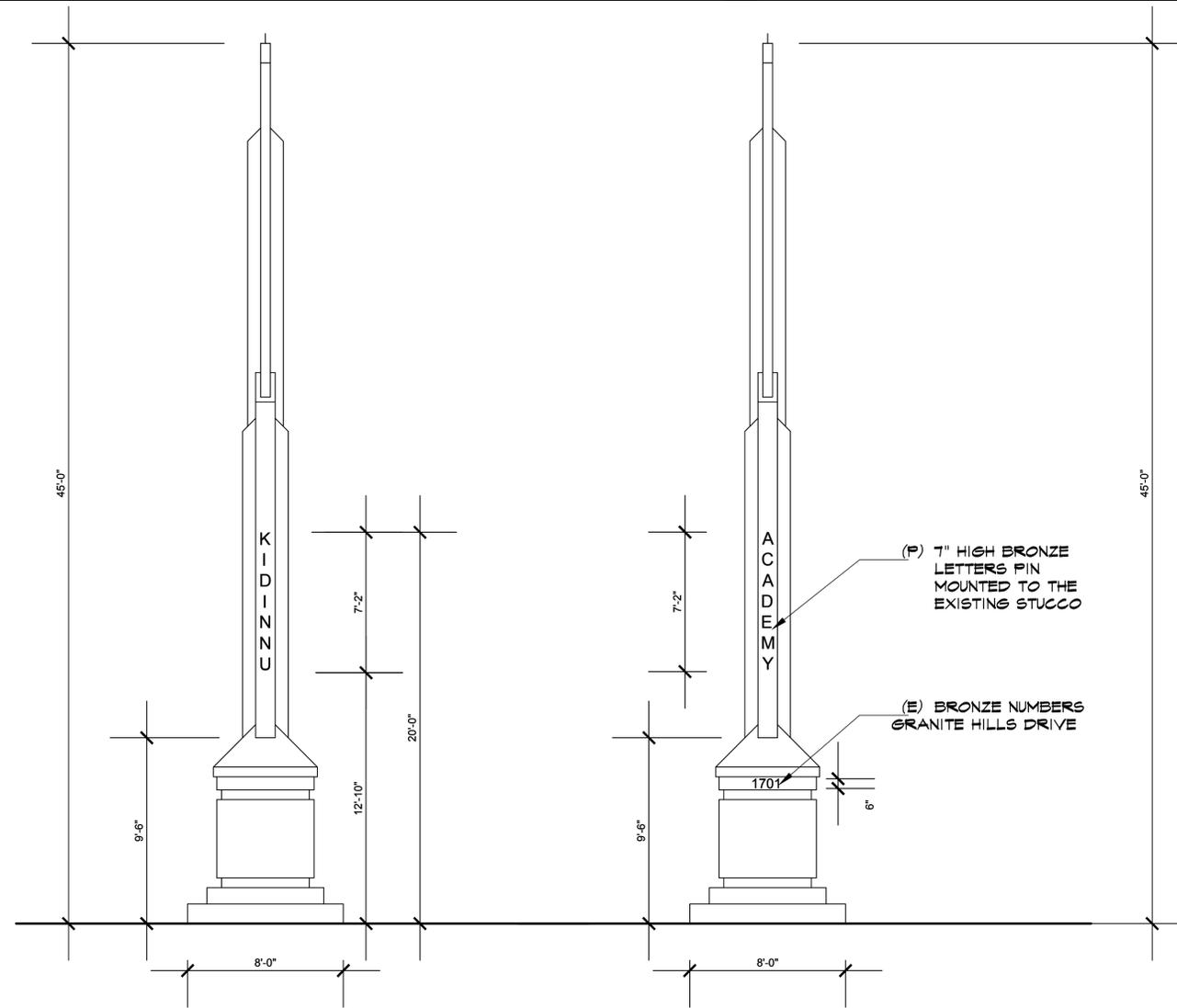
SUBJECT TO BUILDING DEPARTMENT APPROVAL



(P) South West Elevation

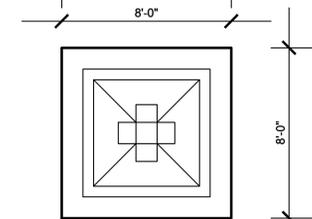


(E) Plan View



(P) North Elevation

(P) West Elevation



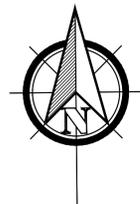
(E) Plan View



1

(E) Monument Sign

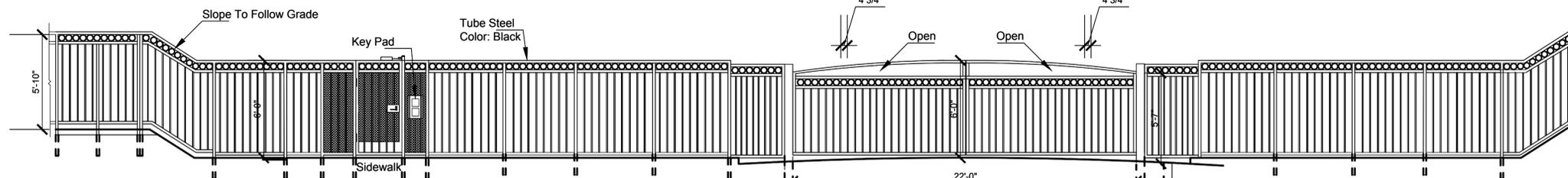
1/4"=1'-0"



2

(E) Steeple Tower

1/4"=1'-0"



3

(P) Site Fencing / Gates

1/4"=1'-0"

NO.	DATE	REVISIONS
NO. 1	11-21-22	CUP COMMENTS

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PROJECT
CUP CLASSROOMS T.I.
DATE
8-25-22
SCALE

DRAWN
DANIEL MANNIX
APPROVED
DANIEL MANNIX
JOB NO.
22001

Signage
A5
PAGE # TOTAL

SUBJECT TO BUILDING DEPARTMENT APPROVAL



1 South West View
SCALE: NTS



5 South East View
SCALE: NTS



9 West View
SCALE: NTS



2 Trash / Utility Building
SCALE: NTS



6 North Elevation / Main Entry
SCALE: NTS



10 South Elevation
SCALE: NTS



3 Site Monument Sign
SCALE: NTS



7 East View on Dehesa Road
SCALE: NTS



11 Existing Classroom
SCALE: NTS



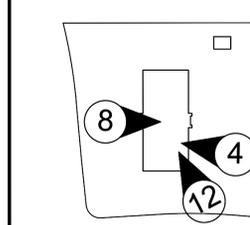
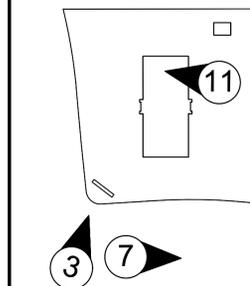
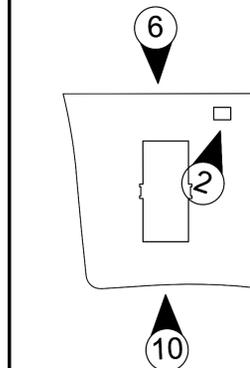
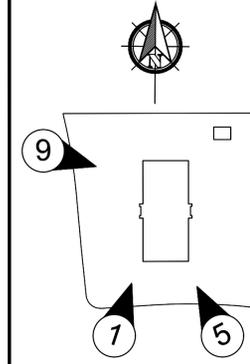
4 Existing Multi-Purpose Space
SCALE: NTS



8 Existing West Lobby
SCALE: NTS



12 Fire Alarm Strobe
SCALE: NTS



NO.	DATE	REVISIONS
NO.1	11-21-22	CUP COMMENTS

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The Kidinnu Academy
1701 Granite Hills Drive El Cajon CA 92019
CUP Tenant Improvements



PROJECT	CUP CLASSROOMS T.I.
DATE	8-25-22
SCALE	---
DRAWN	DANIEL MANNIX
APPROVED	DANIEL MANNIX
JOB NO.	22001

Photos
P1
PAGE # TOTAL

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Eilar Associates, Inc.
Acoustical and Environmental Consulting Services

Acoustical Analysis Report for The Kidinnu Academy

Prepared for:

Kidinnu Academy
Attention: Christin Barkas
1025 North 2nd Street
El Cajon, California 92021
Phone: 619-938-4864

Prepared by:

Eilar Associates, Inc.
210 South Juniper Street, Suite 100
Escondido, California 92025
Phone: 760-738-5570
info@eilarassociates.com

Job # S221004

November 18, 2022

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1.0 Executive Summary

The proposed project, The Kidinnu Academy CUP, consists of the conversion of an existing church into a charter school. The project site is located at 1701 Granite Hills Drive in the City of El Cajon, California.

The purpose of this report is to assess noise impacts from the project and to determine if mitigation is necessary and feasible to reduce project-related noise impacts to below the noise limits of the City of El Cajon and County of San Diego. Specific noise sources of concern evaluated in this analysis include noise from activity associated with use of playgrounds and student arrival and dismissal. Noise limits specified within the City of El Cajon Municipal Code and the County of San Diego Noise Ordinance must be met at the nearest noise-sensitive receiver locations.

Calculations show that, with the proposed site layout including existing CMU walls at the property lines, noise levels from anticipated project activities are not expected to exceed the City of El Cajon or County of San Diego noise level limits at any surrounding receivers. No mitigation is deemed necessary for the attenuation of off-site noise impacts.

2.0 Introduction

This acoustical analysis report is submitted to satisfy the noise requirements of the City of El Cajon and County of San Diego. Its purpose is to assess noise impacts from the project on surrounding receivers.

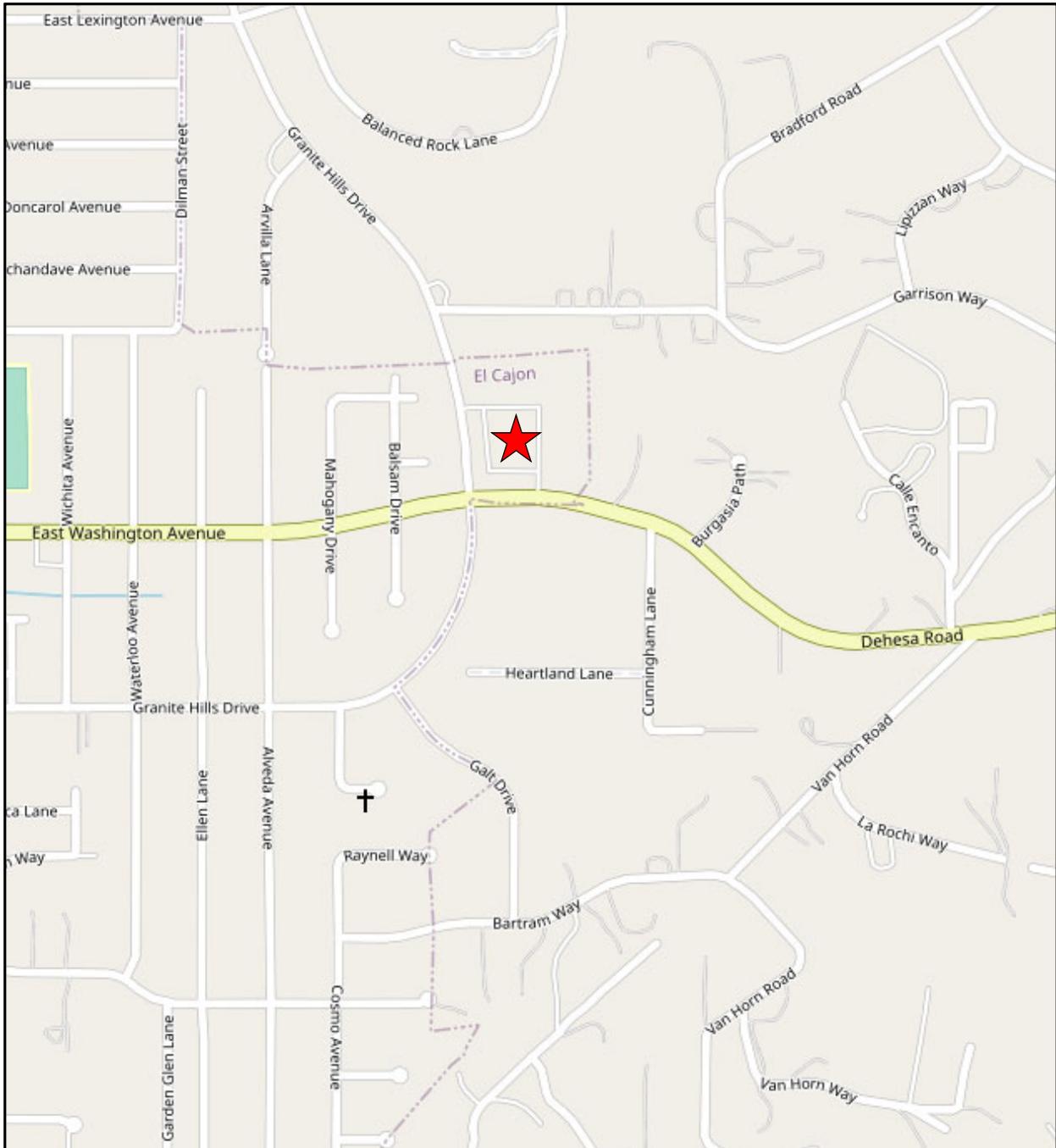
All noise level or sound level values presented herein are expressed in terms of decibels (dB), with A-weighting, abbreviated "dBA," to approximate the hearing sensitivity of humans. Time-averaged noise levels are expressed by the symbol "L_{EQ}." Unless a different time period is specified, "L_{EQ}" is implied to mean a period of one hour. Some of the data may also be presented as octave-band-filtered and/or 1/3-octave-band-filtered data, which are a series of sound spectra centered about each stated frequency, with half of the bandwidth above and half of the bandwidth below each stated frequency. This data is typically used for machinery noise analysis and barrier calculations.

2.1 Project Description

The proposed project, The Kidinnu Academy CUP, consists of the conversion of an existing church into a charter school. The facility will accommodate up to 250 students ranging from transitional kindergarten to fifth grade. The project proposes a staggered operational schedule for arrival and dismissal, as well as activities including recess, lunch, and gym classes. Teachers are expected to arrive at 7:00 am and after school activities will end by 6:00 pm. For additional project details and site layout, please refer to the project plans provided in Appendix A.

2.2 Project Location

The subject property is located at 1701 Granite Hills Drive in the City of El Cajon, California. The Assessor's Parcel Number (APN) for this site is 511-330-63-00. For a graphical representation of the site, please refer to the Vicinity Map, Assessor's Parcel Map, and Satellite Aerial Photograph, provided as Figures 1 through 3, respectively.

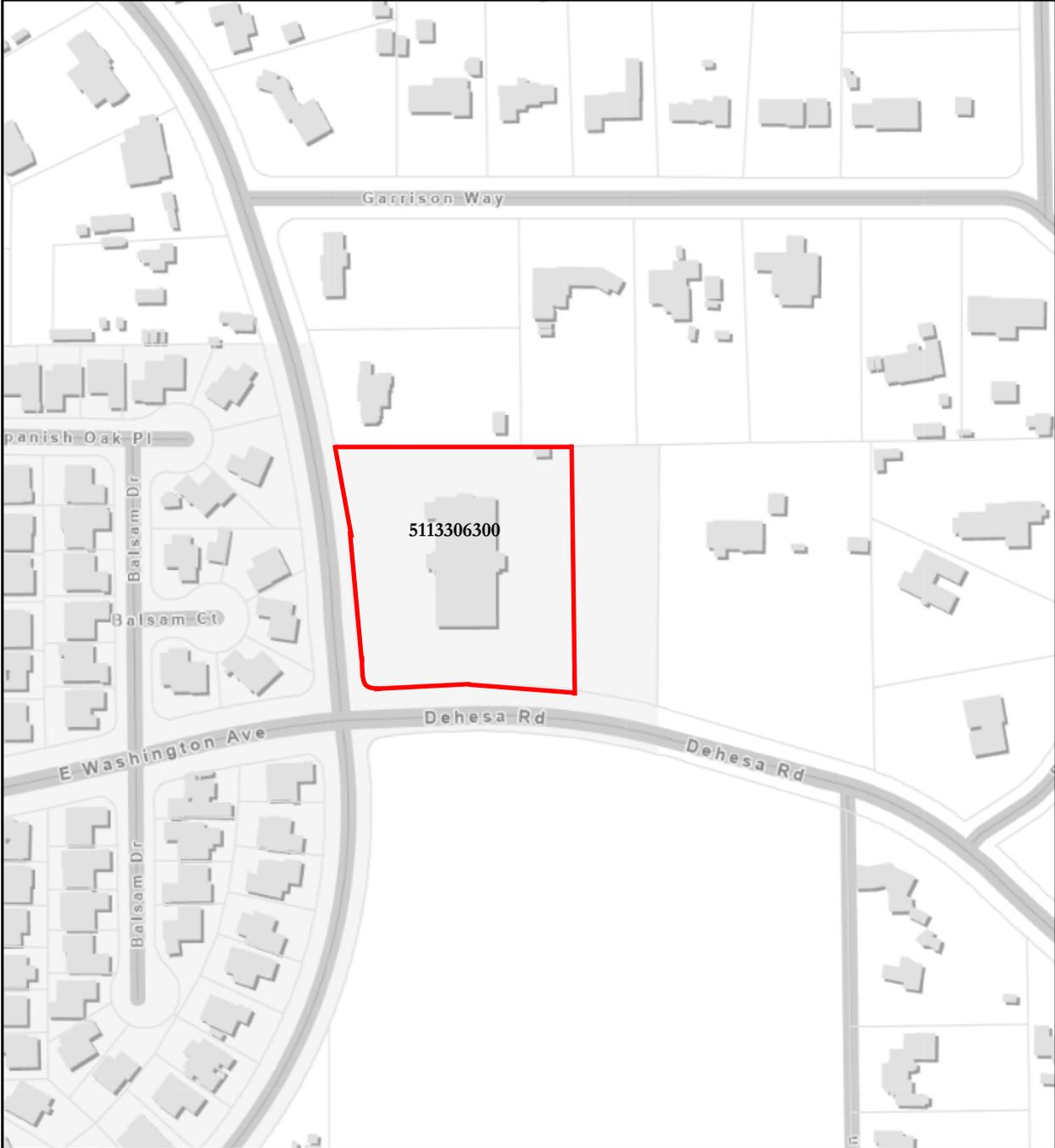


Source: Open Street Map, 2022.



 Project Location

Figure 1.
Vicinity Map



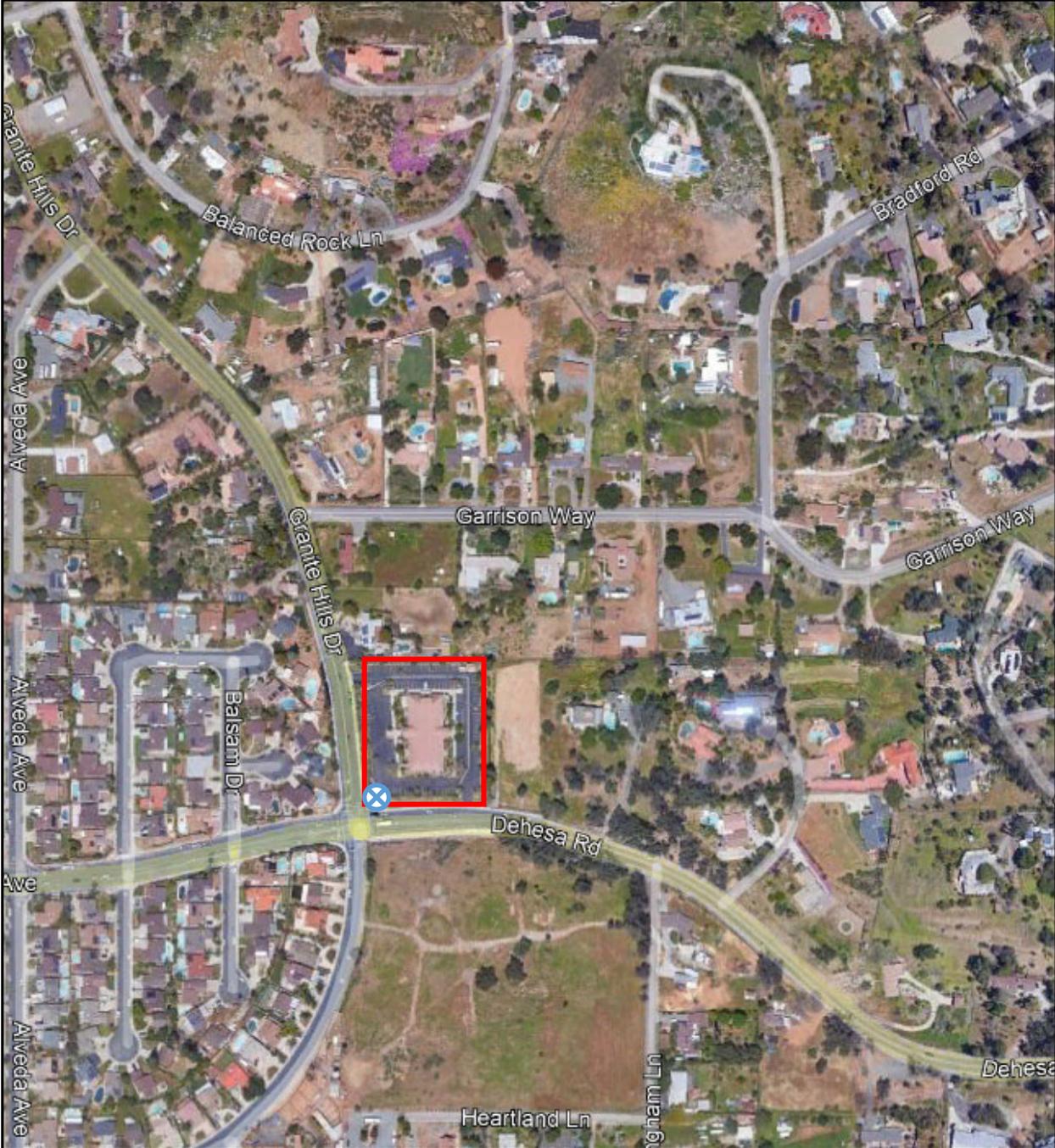
Source: SanGIS, 2022.



 Project Location

Figure 2.

Assessor's Parcel Map



Source: Google Earth Pro, 2022.



-  Noise Measurement Location
-  Project Location

Figure 3.

Satellite Aerial Photograph

2.3 Applicable Noise Regulations

The noise regulations applicable to this project are contained within the City of El Cajon Municipal Code, which specifies noise limits based on the zoning of the properties in question. Additionally, as the residential properties to the north and south of the project site are located within the unincorporated Crest-Dehesa Community Planning Area of the County of San Diego, County of San Diego noise limits apply at those properties. The subject property is zoned RS-40 (Single-Family Residential), as are properties to the east. Properties to the west are zoned RS-9 (Single-Family Residential). Properties to the north and south are zoned RR (Rural Residential).

The City of El Cajon Municipal Code Section 17.115.130 states that surrounding residential zones have noise limits of 60 dBA between the hours of 7 a.m. and 7 p.m., 55 dBA between the hours of 7 p.m. and 10 p.m., and 50 dBA between the hours of 10 p.m. and 7 a.m. The County of San Diego Noise Ordinance Section 36.404 states that the residential zones have noise limits of 50 dBA between the hours of 7 a.m. and 10 p.m. and 45 dBA between the hours of 10 p.m. and 7 a.m. As on-site noise-generating events are not expected to occur during evening or nighttime hours (past 7 p.m. or before 7 a.m.), the daytime noise limits were applied at all noise-sensitive receptors.

Pertinent sections of the City of El Cajon Municipal Code and County of San Diego Noise Ordinance are provided as Appendix B.

3.0 Environmental Setting

3.1 Existing Noise Environment

An on-site inspection and ambient noise measurement were made on the afternoon of Thursday, November 10, 2022. The weather conditions were as follows: sunny skies, moderate humidity, temperature in the mid-60s, with winds at 10 to 12 mph. A noise measurement was made to the southwest of the project site, approximately 30 feet east of the Granite Hills Drive centerline and approximately 50 feet north of the Dehesa Road centerline. The primary source of noise during the measurement was traffic noise. The microphone was placed at approximately five feet above the existing grade. The measured noise level and related weather conditions are shown in Table 1, and the noise measurement location is shown on Figure 3.

Table 1. On-Site Noise Measurement Conditions and Results	
Date	Thursday, November 10, 2022
Time	2:56 p.m. – 3:11 p.m.
Conditions	Sunny skies, wind at 10-12 mph, temperature in the mid-60s with moderate humidity
Measured Ambient Noise Level	68.4 dBA _{LEQ}

3.2 Future Noise Environment

The future noise environment in the vicinity of the project site will be primarily a result of the same noise sources, with the added contribution of activity on the project site.

In order to approximate noise levels of children gathered in the outdoor activity areas of the project, measurements shown in a study prepared by Pearsons, Bennett, and Fidell for the U.S. Environmental Protection Agency titled *Speech Levels in Various Noise Environments (Report No. EPA-600/1-77-025)* were consulted. This study shows noise levels of speech for children for five different vocal efforts: casual, normal, raised, loud, and shout. Measurements for “loud” voices are considered to be appropriate, though slightly conservative for this analysis. Although a person may occasionally elevate his/her voice beyond the “loud” level, performing calculations assuming all children will speak using loud voices is expected to account for occasional loud or shouting children, combined with children who are either silent, or who are speaking in normal conversation. According to this study, at a distance of one meter (3.28 feet), an average child will generate a noise level of approximately 74 dBA when speaking with a loud voice. These noise measurements have been incorporated into the analysis of noise impacts from outdoor activity detailed in Section 5.2.

No other operational noise sources are considered significant. The noise sources detailed above were incorporated into the analysis of operational noise impacts, as detailed in Section 5.0.

4.0 Methodology and Equipment

4.1 Methodology

Modeling of the outdoor noise environment is accomplished using CadnaA Version 2022, which is a model-based computer program developed by DataKustik for predicting noise impacts in a wide variety of conditions. CadnaA (Computer Aided Noise Abatement) assists in the calculation, presentation, assessment, and alleviation of noise exposure. It allows for the input of project information such as noise source data, barriers, structures, and topography to create a detailed model and uses the most up-to-date calculation standards to predict outdoor noise impacts. Noise standards used by CadnaA that are particularly relevant to this analysis include ISO 9613 (Attenuation of sound during propagation outdoors). CadnaA provides results that are in line with basic acoustical calculations for distance attenuation and barrier insertion loss.

4.2 Measurement Equipment

The following equipment was used at the site to measure existing noise levels:

- Larson Davis Model LxT Type 1 Sound Level Meter, Serial # 6558
- Larson Davis Model CA200 Type 1 Calibrator, Serial # 16454

The sound level meter was field-calibrated immediately prior to the noise measurement and checked afterward to ensure accuracy. All sound level measurements conducted and presented in this report, in accordance with the regulations, were made with a sound level meter that conforms to the American National Standards Institute specifications for sound level meters (ANSI S1.4). All instruments are maintained with National Bureau of Standards traceable calibration, per the manufacturers’ standards.

5.0 Noise Impacts

The facility will have multiple outdoor use areas including two recess areas and a drop off/pick up area. Outdoor activity would occur during daytime hours and would therefore need to meet the applicable noise limits shown in Section 2.3 at all surrounding property lines. Based on information from the project proponent the two “worst-case” scenarios that would generate the highest levels of noise from outdoor activity would be 1) arrival/dismissal, and 2) recess/gym class. These two scenarios have been evaluated in depth herein.

In order to model the noise from a mobile point source (children moving around the site), an area source with moving point sources was used, which divides all of the sound power generated by the number of persons in the area along the surface of a plane, typical methodology for modeling this type of noise source. Each student was modeled as speaking using a “loud” vocal effort for 30 percent of the time they will be located outside, which is considered appropriate for this type of use, and accounts for pauses within speech as well as breaks for listening. Calculations also consider shielding that would be provided by the existing building and property line CMU walls. Noise source and receiver locations are shown in Figure 4, and additional information can be found in Appendix C.

5.1 Arrival/Dismissal

According to information provided by project proponents, the morning arrival is proposed to be staggered with students anticipated to gather for no more than 20 minutes, as students will be directed inside for breakfast. Afternoon dismissal is also proposed to be staggered with students anticipated to gather for no more than 30 minutes. Arrival and dismissal will be located outside of the north entrance to the building.

As students are anticipated to be escorted inside the building quickly upon arrival, the worst-case scenario at the drop off/pick up area was evaluated for dismissal. As dismissals are proposed to be staggered into three time slots, noise from students gathering at dismissal was evaluated for one third of the maximum number of students, for a maximum of 84 students per group. Additionally, according to information provided by project proponents, approximately 50 percent of students participate in aftercare programs; therefore it is anticipated that 42 students would gather at the drop off/pick up area at one time for the 30-minute dismissal period. The results of the arrival/dismissal analysis can be seen below in Table 2.

Table 2. Calculated Noise Impact from Arrival/Dismissal				
Receiver	Location	Approximate Distance to Nearest Source (ft)	Daytime Noise Limit (dBA)	Calculated Noise Level (dBA)
R1	North – Residential	75	50	40.8
R2	East – Residential (Vacant)	88	60	45.4
R3	East – Residential (Vacant)	157	60	37.8
R4	South – Residential (Vacant)	340	50	32.9
R5	West – Residential	225	60	36.9
R6	West – Residential	154	60	43.7

As shown in Table 2, as currently designed with existing CMU walls at the property lines, noise impacts during arrival/dismissal activities are not expected to exceed the noise limits of the City of El Cajon or the County of San Diego. For this reason, no mitigation is deemed necessary.



Source: Google Earth Pro, Mannix Architecture, 2022.

- X Receiver Location
- Arrival/Dismissal Location
- Recess/Gym Location
- Existing CMU Wall



Figure 4.

Activity Areas and Receiver Locations

5.2 Recess/Gym Class

A maximum of 100 children will have recess at one time; each group will have one 20-minute recess in the morning and one 20-minute recess at the end of the lunch period. Additionally, up to two gym classes will occur in the afternoon with up to 50 students in each class. Gym classes will last 40 minutes each and are to be located at the recess areas. As morning recesses are staggered by five minutes between each of the three groups, the worst-case recess hour consists of students being outdoors for a total of 50 minutes. As it is unclear whether the two recess areas will be used simultaneously, the worst-case scenario was evaluated as both playgrounds being in use for the full 50 minutes and with the maximum number of 100 students per recess session. As gym classes are proposed to be shorter in duration, and have fewer students, noise levels associated with gym classes are expected to be less than those of recesses. The results of the recess analysis can be seen below in Table 3.

Table 3. Calculated Noise Impact from Recess Activities				
Receiver	Location	Approximate Distance to Nearest Source (ft)	Daytime Noise Limit (dBA)	Calculated Noise Level (dBA)
R1	North – Residential	106	50	41.1
R2	East – Residential (Vacant)	31	60	53.5
R3	East – Residential (Vacant)	32	60	51.9
R4	South – Residential (Vacant)	163	50	46.5
R5	West – Residential	131	60	45.1
R6	West – Residential	140	60	48.0

As shown in Table 3, as currently designed with existing CMU walls at the property lines, noise levels from anticipated outdoor activities associated with recess and gym classes are expected to remain in compliance with the applicable City of El Cajon and County of San Diego property line noise limits at the nearest property line receivers during worst-case scenarios of activity on site. For this reason, no mitigation is deemed necessary.

6.0 Conclusion

Calculations show that, with the proposed site layout including existing CMU walls at the property lines, noise levels from anticipated project activities are not expected to exceed the City of El Cajon or County of San Diego noise level limits at any surrounding receivers. No mitigation is deemed necessary for the attenuation of off-site noise impacts.

This analysis is based upon a current worst-case scenario of anticipated typical noise levels based on the project plans and description, including existing structures, bell schedule, maximum number of students, estimated number of students using aftercare programs, and other such factors. Modifications to these plans may invalidate the recommendations of this study. These conclusions and recommendations are based on the best and most current project-related information available at the time this study was prepared.

7.0 Certification

All recommendations for noise control are based on the best information available at the time our consulting services are provided. However, as there are many factors involved in sound transmission, and Eilar Associates has no control over the construction, workmanship, or materials, Eilar Associates is specifically not liable for final results of any recommendations or implementation of the recommendations.

This report is based on the related project information that was received and on measured noise levels and represents a true and factual analysis of the acoustical impact issues associated with The Kidinnu Academy CUP project, located at 1701 Granite Hills Drive in the City of El Cajon, California. This report was prepared by Rachael Cowell and Amy Hool.



Rachael S. Cowell, INCE
Acoustical Consultant



Amy Hool, INCE
President/CEO

8.0 References

City of El Cajon Municipal Code, Section 17.115.130: Performance Standards.

County of San Diego Noise Ordinance, Chapter 4: Noise Abatement and Control.

DataKustik, CadnaA (Computer Aided Noise Abatement), Version 2022.

Pearsons, K.S., Bennett, R.L., & Fidell, S., *Speech Levels in Various Noise Environments* (Report No. EPA-600/1-77-025), U.S. Environmental Protection Agency, 1977.



Appendix A

Project Plans

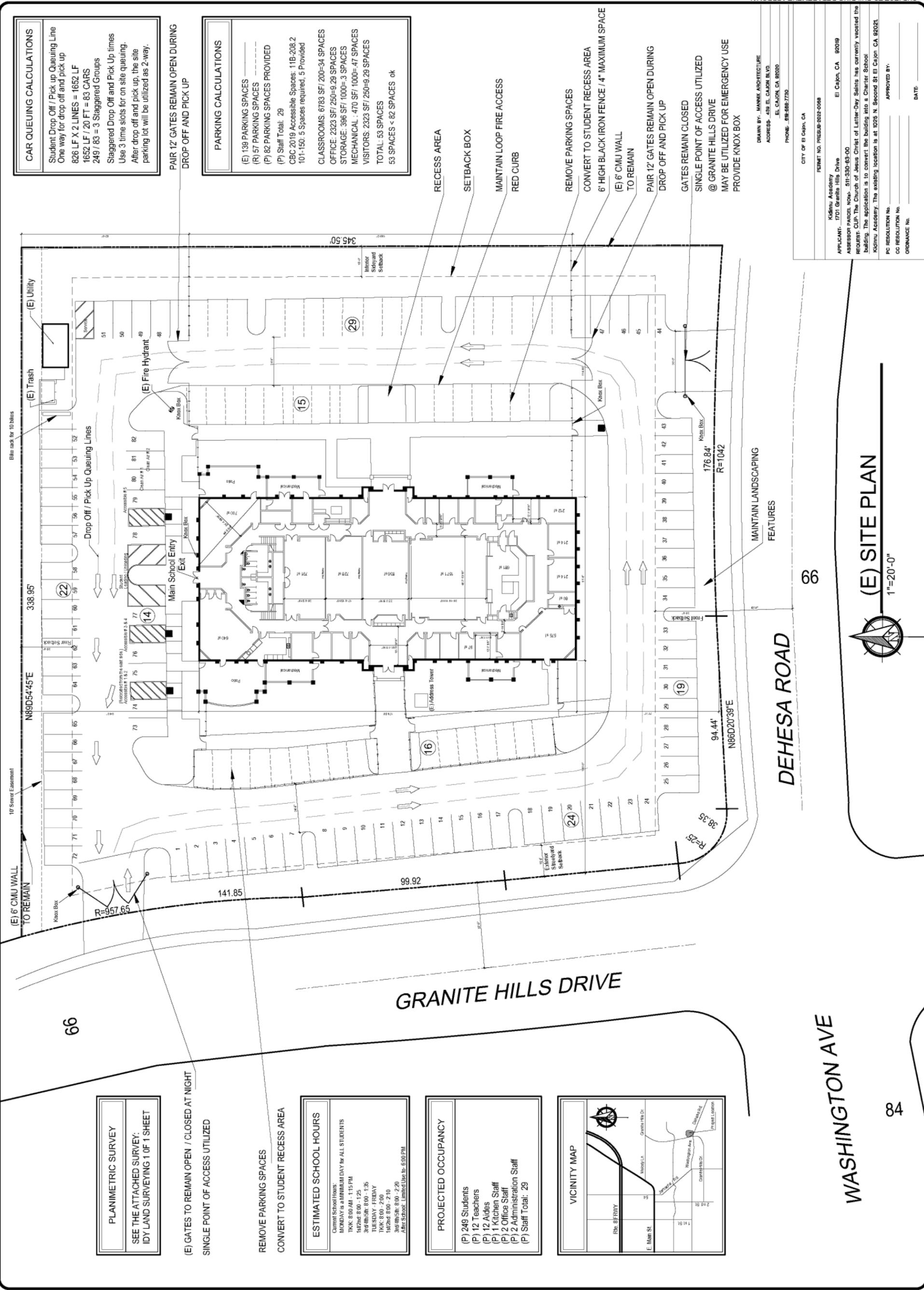
NO.	DATE	REVISIONS

MANNIX
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 Cell (619) 302-7730
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 dan@mnnixarch.com

The Kiddinu Academy
 1701 Granite Hills Drive
 El Cajon CA 92019
CUP Tenant Improvements



PROJECT: CUP CLASSROOMS T.I.
 DATE: 8-25-22
 SCALE: 1"=20'-0"
 DRAWN: DANIEL MANNIX
 APPROVED: DANIEL MANNIX
 JOB NO.: 23007
 SHEET: A1
 TOTAL: 7



CAR QUEUING CALCULATIONS
 Student Drop Off / Pick up Queuing Line
 One way for drop off and pick up
 826 LF X 2 LINES = 1652 LF
 1652 LF / 20 FT = 83 CARS
 249 / 83 = 3 Staggered Groups
 Staggered Drop Off and Pick Up times
 Use 3 time slots for on site queuing.
 After drop off and pick up, the site parking lot will be utilized as 2-way.

PARKING CALCULATIONS
 (E) 139 PARKING SPACES
 (R) 57 PARKING SPACES
 (P) 82 PARKING SPACES PROVIDED
 (P) Staff Total: 29
 CBC 2019 Accessible Spaces: 11B-208.2
 101-150: 5 Spaces required, 9 Provided
 CLASSROOMS: 6783 SF/ 200=34 SPACES
 OFFICE: 2323 SF/ 250=9.28 SPACES
 STORAGE: 396 SF/ 1000= 3 SPACES
 MECHANICAL: 470 SF/ 1000= .47 SPACES
 VISITORS: 2323 SF/ 250=9.29 SPACES
 TOTAL: 53 SPACES
 53 SPACES < 82 SPACES ok

PAIR 12' GATES REMAIN OPEN DURING DROP OFF AND PICK UP

- RECESS AREA
- SETBACK BOX
- MAINTAIN LOOP FIRE ACCESS RED CURB
- REMOVE PARKING SPACES
- CONVERT TO STUDENT RECESS AREA
- 6' HIGH BLACK IRON FENCE / 4" MAXIMUM SPACE
- (E) 6' CMU WALL TO REMAIN
- PAIR 12' GATES REMAIN OPEN DURING DROP OFF AND PICK UP
- GATES REMAIN CLOSED
- SINGLE POINT OF ACCESS UTILIZED @ GRANITE HILLS DRIVE
- MAY BE UTILIZED FOR EMERGENCY USE PROVIDE KNOX BOX

DRAWN BY: MANNIX ARCHITECTURE
 ADDRESS: 439 E. CAJON BLVD
 EL CAJON, CA 92020
 PHONE: 619-588-7730

CITY OF El Cajon, CA
 PERMIT NO. P19EUB-2022-0068
 APPLICANT: Kiddinu Academy
 1701 Granite Hills Drive
 El Cajon, CA 92019
 ASSESSOR PARCEL NO.: 511-330-63-00
 REQUEST: CUP- The Church of Jesus Christ of Latter-Day Saints has currently vacated the building. The application is to convert the building into a Charter School Kiddinu Academy. The existing location is at 1025 N. Second St El Cajon CA 92021.
 PC RESOLUTION No. _____ APPROVED BY: _____
 CC RESOLUTION No. _____
 ORDINANCE No. _____
 DATE: _____

PLANIMETRIC SURVEY
 SEE THE ATTACHED SURVEY: IDY LAND SURVEYING 1 OF 1 SHEET

(E) GATES TO REMAIN OPEN / CLOSED AT NIGHT
 SINGLE POINT OF ACCESS UTILIZED

REMOVE PARKING SPACES
 CONVERT TO STUDENT RECESS AREA

ESTIMATED SCHOOL HOURS
 Current School Hours:
 MONDAY is a MINIMUM DAY for ALL STUDENTS
 TKK: 8:00 AM - 1:15 PM
 1st/2nd: 8:00 - 1:25
 3rd/4th/5th: 8:00 - 1:35
 TUESDAY - FRIDAY
 TKK: 8:00 - 2:00
 1st/2nd: 8:00 - 2:10
 3rd/4th/5th: 8:00 - 2:20
 After School: Limited Use to 6:00 PM

PROJECTED OCCUPANCY
 (P) 249 Students
 (P) 12 Teachers
 (P) 12 Aides
 (P) 1 Kitchen Staff
 (P) 2 Office Staff
 (P) 2 Administration Staff
 (P) Staff Total: 29



WASHINGTON AVE

(E) SITE PLAN
 1"=20'-0"

DEHESA ROAD

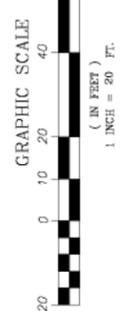
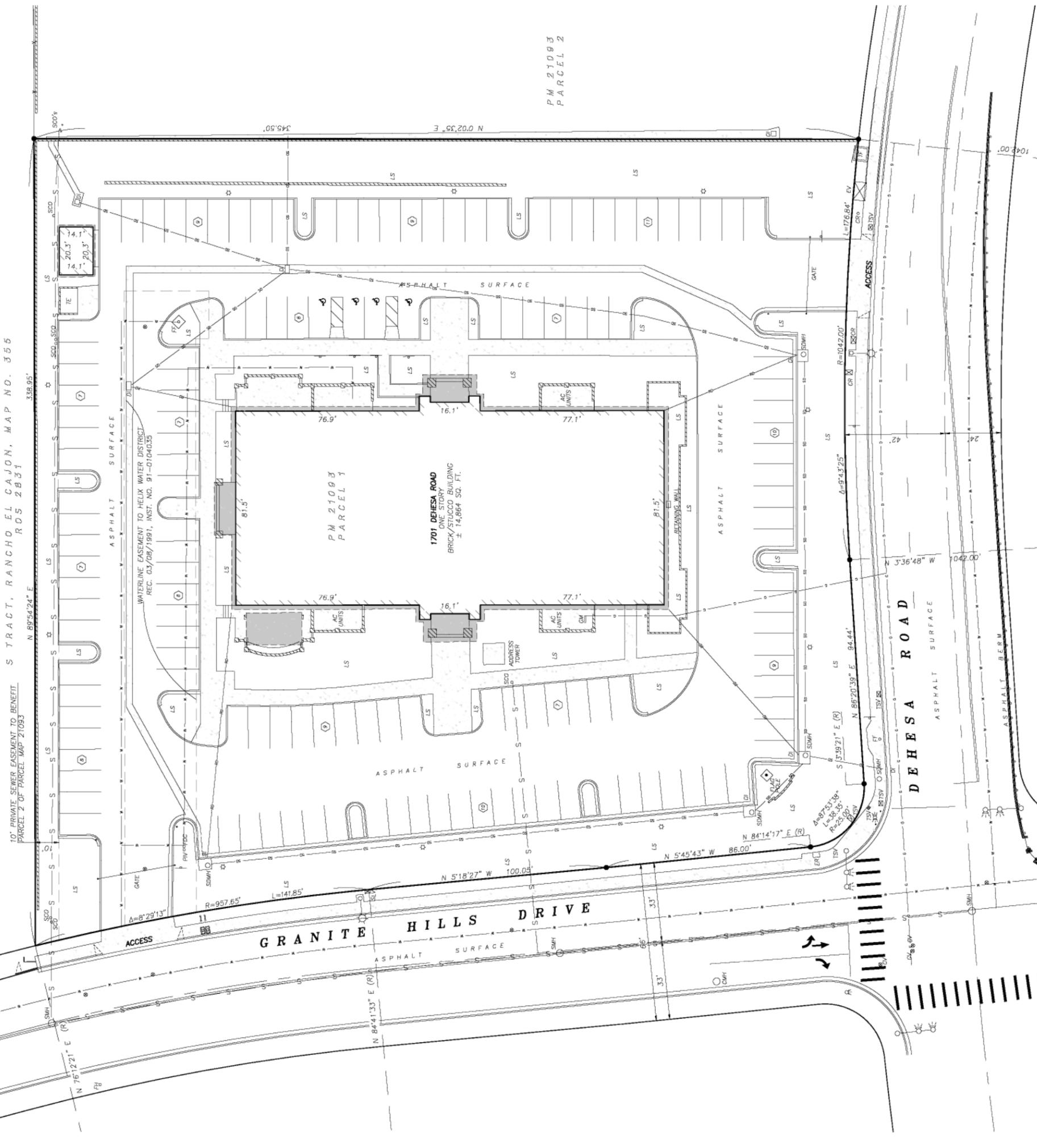
GRANITE HILLS DRIVE

SUBJECT TO BUILDING DEPARTMENT APPROVAL

10' PRIVATE SEWER EASEMENT TO BENEFIT PARCEL 2 OF PARCEL MAP 21093

S TRACT, RANCHO EL CAJON, MAP NO. 355 ROS 2831

N 89°54'24" E 338.95'



LEGAL DESCRIPTION

PARCEL 1 OF PARCEL MAP NO. 21093, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED IN OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 21, 2013.

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NORTHEASTERLY LINE OF LOT 8, IN BLOCK 31 OF MAP NO. 2006, I.E., N 74°00'00" W.

REFERENCE MAPS:

PM 21093
COUNTY OF SAN DIEGO L-02177 SVT. 1 OF 1
SHEET C-7 PER J.B. YOUNG & ASSOCIATES, LTD. CIVIL ENGINEERING PLANS
DATED NOV. 1, 1991, JOB NUMBER 9013.

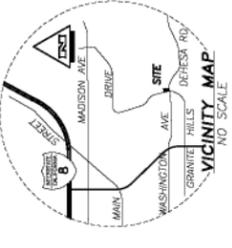
LEGEND:

- FOUND IRON PIN & CAP "RCE 20516" PER PM 21093
- EASEMENT LINE
- PROPERTY LINE
- ▨ CONCRETE SURFACE
- ▨ BUILDING OVERHANG
- ▨ BLOCK WALL
- ▨ BUILDING FACE
- CHAIN LINK FENCE
- WROUGHT IRON FENCE
- ⊙ AREA LIGHT
- ⊙ BACK FLOW PREVENTOR
- ⊙ COMMUNICATION MANHOLE
- ⊙ COMMUNICATION RISER
- ⊙ COMMUNICATION VAULT
- ⊙ DRAINAGE INLET
- ⊙ ELECTRIC VAULT
- ⊙ FIRE DEPARTMENT CONNECTION
- ⊙ FIRE HYDRANT
- ⊙ GAS METER
- ⊙ GAS VALVE
- ⊙ GUARDRAIL
- ⊙ HANDICAP PARKING SPACE
- ⊙ LANDSCAPING AREA
- ⊙ POST
- ⊙ POST INDICATOR VALVE
- ⊙ PARKING COUNT
- ⊙ SEWER CLEANOUT
- ⊙ SIGN
- ⊙ STORM DRAIN MANHOLE
- ⊙ STREET LIGHT
- ⊙ STREET LIGHT VAULT
- ⊙ SEWER MANHOLE
- ⊙ TRAFFIC SIGNAL
- ⊙ TRANSFORMER/FUSEBOX
- ⊙ TRAFFIC SIGNAL VAULT
- ⊙ WATER GATE VALVE
- ⊙ WATER METER
- ⊙ ROOF DRAIN
- UNDERGROUND GAS LINES
- UNDERGROUND SEWER LINES
- UNDERGROUND WATER LINES
- UNDERGROUND STORM DRAIN PIPES

A1.1



WILLIAM P. TIPPLE, P.L.S. 8197
12/31/2025
WIPPLE@DTP-CAD.COM



PLANIMETRIC SURVEY
For the exclusive use of
Mannix Architecture
439 El Cajon Blvd
El Cajon, CA 92020

IDY LAND SURVEYING, INC.
2888 Camino del Rio North, Suite 200
San Diego, CA 92108
54621 South Circle Drive, Suite 100
Irvine, CA 92618
Phone: (818) 884-5707

Date: 08/01/2022
Revised: _____
Drawn by: W.P.T.
Scale: 1"=20'

Revised: _____
Sheet 1 of 1
A.P.N. 511-330-63

THIS DRAWING & SPECIFICATIONS ARE THE PROPERTY OF MANNIX ARCHITECTURE & SHALL NOT BE USED OR REPRODUCED IN WHOLE OR PART ON ANY OTHER WORK. THESE DRAWINGS SHALL BE USED ONLY FOR THE PROJECT AND SHALL BE VOID FOR ANY OTHER PROJECT. MANNIX ARCHITECTURE SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. MANNIX ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THIS DRAWING & SPECIFICATIONS ARE THE PROPERTY OF MANNIX ARCHITECTURE & SHALL NOT BE USED OR REPRODUCED IN WHOLE OR PART ON ANY OTHER WORK.

PROJECT: CUP CLASSROOMS F.L.
 DATE: 8-25-22
 SCALE: 1/8" = 1'-0"
 DRAWN: DANIEL MANNIX
 APPROVED: DANIEL MANNIX
 JOB NO.: 22001

4 7
 (E) Floor Plan
 A2
 SHEET
 TOTAL

The Kidinnu Academy
 1701 Granite Hills Drive
 El Cajon CA 92019

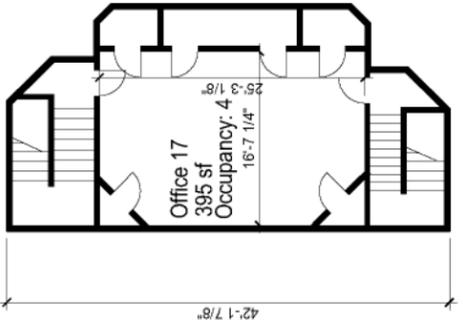
Tenant Improvements
 CUP

MANNIX ARCHITECTURE
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NO.	DATE	REVISIONS

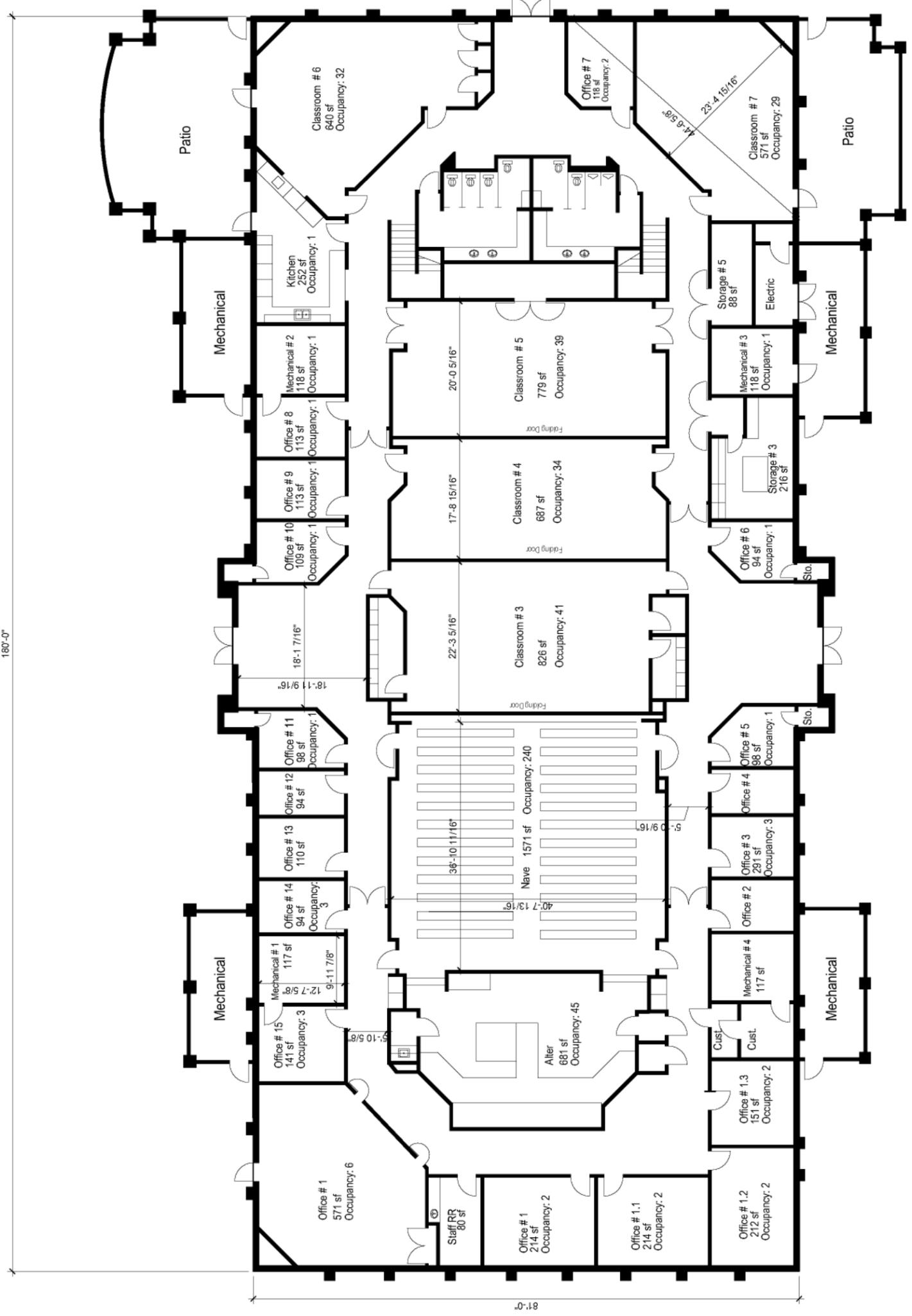
(E) OCCUPANCY TABLE

Room	Square Feet	Occupancy
Office # 1-17	2000	100
Storage	300	150
Classroom # 1-7	5000	2500
Alter	681	340
Staff RR	80	40
Mechanical	1000	500
Electric	100	50
Storage	100	50
Classroom # 3	640	320
Classroom # 4	687	343
Classroom # 5	779	389
Classroom # 6	640	320
Classroom # 7	571	285
Classroom # 8	687	343
Classroom # 9	779	389
Classroom # 10	640	320
Classroom # 11	687	343
Classroom # 12	640	320
Classroom # 13	687	343
Classroom # 14	640	320
Classroom # 15	687	343
Classroom # 16	640	320
Classroom # 17	687	343
Classroom # 18	640	320
Classroom # 19	687	343
Classroom # 20	640	320
Classroom # 21	687	343
Classroom # 22	640	320
Classroom # 23	687	343
Classroom # 24	640	320
Classroom # 25	687	343
Classroom # 26	640	320
Classroom # 27	687	343
Classroom # 28	640	320
Classroom # 29	687	343
Classroom # 30	640	320
Classroom # 31	687	343
Classroom # 32	640	320
Classroom # 33	687	343
Classroom # 34	640	320
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Classroom # 38	640	320
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Classroom # 41	687	343
Classroom # 42	640	320
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Classroom # 88	640	320
Classroom # 89	687	343
Classroom # 90	640	320
Classroom # 91	687	343
Classroom # 92	640	320
Classroom # 93	687	343
Classroom # 94	640	320
Classroom # 95	687	343
Classroom # 96	640	320
Classroom # 97	687	343
Classroom # 98	640	320
Classroom # 99	687	343
Classroom # 100	640	320



WALL LEGEND

(E) 2x Wood Studs / Stucco
 Exterior / Drywall Interior



(E) FLOOR PLAN
 1/8" = 1'-0"



Performance Standards

17.115.130 Performance standards.
All uses and operations within the city shall be subject to the following minimum performance standards.

- A. Air quality.
 1. Smoke. In accordance with section 24242 of the California Health and Safety Code, a person shall not discharge smoke into the atmosphere for a period or periods aggregating more than three (3) minutes in any one (1) hour, which is:
 - a. As dark or darker in shade as that designated as No. 1 on the Ringelmann Chart, as published by the U.S. Bureau of Mines; or
 - b. Of such opacity as to obscure an observer's view to a degree equal to or greater than does smoke described above.

2. Air pollution. Fly ash, dust, fumes, vapors, gases, and other forms of air pollution, in accordance with section 24245 of the California Health and Safety Code. A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which will cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public or which endanger the comfort, repose, health or safety of any such persons or the public or which cause or have a natural tendency to cause injury or damage to animals, vegetation, business or property. In no event shall any emission from any chimney or other source, or any solid or liquid particles in concentration exceed 0.4 grains per cubic foot of the conveying gas at any point.

3. Odors. No emission shall be permitted of odorous gases or other odorous matter in such quantities as to be readily detectable at the property line of the use from which such odor emits, or at the point of greatest concentration if further than the lot line. Any process that may involve the creation or emission of any odors shall be provided with an adequate secondary safeguard system of control, so that control will be maintained if the primary safeguard system should fail. In no event shall odors, gases or other odorous matter be emitted in such quantities as to be readily detectable when diluted in a ratio of one (1) volume of odorous air to four (4) volumes of clean air.

- B. Water quality
 1. Wastes into surface runoff. Any discharge of liquid industrial wastes of any sort to surface streams, flood control channels, storm drains and subsurface pits shall be prohibited in conformance with applicable storm water regulations.

2. Wastes into sanitary sewer. Any wastes discharged into the city sanitary sewer, which may require pretreatment, depending upon the type, concentration and volume of material being handled, shall conform to the requirements of Title 15 of the code of the city.

3. Wastes disposed by hauling. Any industry hauling liquid wastes off-site for disposal shall obtain and conform to waste discharge requirements of the California Regional Water Quality Control Board, San Diego Region, which will necessitate hauling such wastes to a Class I site for disposal.

- C. Noise.
 1. The sound level of any individual operation, land use, or activity other than rail, aircraft, street, or highway transportation, shall not exceed the sound levels indicated in the following table. For the purpose of determining compliance with these noise limitations, the sound levels shall be measured at the property lines of the property upon which the operation, land use, or activity is conducted.

All residentially zoned properties 7 a.m.—7 p.m. 60 db
One-Hour Average Sound Level Decibels 7 p.m.—10 p.m. 55db 10 p.m.—7 a.m. 50 db.

2. Interior lease lines, N / A single tenant.

Performance Standards

5. Equipment noise. It is unlawful for any person within any residential zone, or within a radius of five hundred (500) feet from any residential zone, to operate equipment or perform any outside construction, maintenance or repair work on buildings, structures, landscaped or related facilities, or to operate any pile driver, power shovel, pneumatic hammer, power hoist, leaf blower, mower, or any other mechanical device, between the hours of 7 p.m. of one (1) day and 7 a.m. of the next day in such a manner that a reasonable person of normal sensitivities residing in the area is caused discomfort or annoyance. This subsection shall also apply to any property in the Mixed-Use zone having one or more residential units. This restriction does not apply to emergency work made necessary to restore property to a safe condition, restore utility service, or to protect persons or property from an imminent exposure to danger.

4. Vehicle Repairs. N/A

5. Property upkeep.

- a. Exterior yards, including front yard setback areas in residential zones, shall be maintained in a clean and sanitary condition, free of garbage, debris, demolition waste, overgrown vegetation, scrap wood and metal, automotive or recreational vehicle parts and fluids, defective appliances or machinery, mattresses or other indoor furnishings, whether in a state of repair or not. This does not include firewood which is neatly stacked and maintained or outdoor furniture in good repair.

- b. Properties shall not harbor rodents or insect infestations.

6. Refuse vehicles and parking lot sweepers. No person shall operate or permit to be operated a refuse compacting, processing or collection vehicle or parking lot sweeper between the hours of 7 p.m. of one (1) day and 7 a.m. of the next day in any residential zone.

7. Notwithstanding any other provision of this chapter, and in addition thereto, it is unlawful for any person to willfully make or continue, or cause to be made or continued, any loud, unnecessary, or unusual noise which disturbs the peace or quiet of any neighborhood, or which causes discomfort or annoyance to any reasonable person of normal sensitivity residing in the area. The standards which shall be considered in determining whether a violation of the provisions of this section exists shall include, but not be limited to, the following:
 - a. The level of the noise;
 - b. The intensity of the noise;
 - c. Whether the nature of the noise is usual or unusual;
 - d. Whether the origin of the noise is natural or unnatural;
 - e. The level and intensity of the background noise, if any;
 - f. The proximity of the noise to residential sleeping facilities;
 - g. The nature and zoning of the area within which the noise emanates;
 - h. The density of the inhabitation of the area within which the noise emanates;
 - i. The time of the day or night the noise occurs;
 - j. The duration of the noise;
 - k. Whether the noise is recurrent, intermittent, or constant; and
 - l. Whether the noise is produced by a commercial or noncommercial activity.

8. Specific exemptions. Special events of short duration, such as carnivals, fireworks displays, outdoor concerts, parades and sports activities, which are regulated by separate city approval such as a conditional use permit, are specifically exempted from the provisions of this chapter. Noise regulations for such events, however, may be applied as a condition of such separate approval.

9. Enforcement and penalties.

- a. It is a violation for any property owner(s) and/or person(s) in control of property to permit or cause a noise disturbance to be produced upon property owned by them or under their control.

- b. It is a violation for any person or persons to create or allow the making of noise disturbance as provided by this chapter at any location in the city.

Performance Standards

6. Any person violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor or infraction, and shall be subject to the provisions of the general penalty clause as set forth in section 1.24.010 of this code.

- d. The operation or maintenance of any device, instrument, vehicle or machinery in violation of any provision of this chapter which causes or creates sound levels or vibration exceeding the allowable limits as specified in this chapter, is declared to be a public nuisance and may be subject to abatement summarily by a restraining order or injunction issued by a court of competent jurisdiction. Additionally, no provision of this chapter shall be construed to impair any common law or statutory cause of action, or legal remedy of any person for injury or damage arising from any violation of this chapter or from any other law.

- D. Vibrations. Every use shall be so operated that the ground vibration generated by such use is not harmful or injurious to the use or development of surrounding properties. No vibration shall be permitted which is perceptible without instruments at any use along the property line on which such use is located. For the purpose of this determination, the boundary of any lease agreement or operating unit or properties operating as a unit shall be considered the same as the property line.

- E. Radioactivity. No activities shall be permitted which emit dangerous radioactivity at any point.

- F. Electrical disturbance. No activity shall be permitted which causes electrical disturbances affecting the operation of any equipment located beyond the property line of such activity.

- G. Other performance quality. Other uses not specifically noted above are required to conform to performance standards as set forth by the following provisions:
 1. No use shall be undertaken or maintained unless it conforms to the regulations set forth in this section. No land or building shall be used or occupied in any manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosion or other hazard, noise or vibration, smoke, dust, odor, airborne sand, materials in suspension such as paint droplets or any other form of air pollution, heat, cold, dampness, electrical or other disturbance, glare, liquid or solid refuse or wastes, or other substance, condition or element in such a manner or in such an amount as to affect adversely the surrounding area or adjacent premises.

- H. Heating, Ventilation and Air Conditioning.
 1. All HVAC units must attenuate noise to acceptable levels through one of the following standards:
 - a. The HVAC must be kept a minimum of thirty (30) feet from the property line; or
 - b. The HVAC must be surrounded by walls or parapet walls that obstruct the line of sight to adjacent uses; or
 - c. The HVAC must be kept in a mechanical room; or
 - d. An alternative noise attenuation measure that would reduce the noise levels to less than the applicable noise level limits.

- a. 9.44.010 Noises—Prohibited when loud, disturbing.

No person shall make, continue or cause to be made or continued, within the limits of the city, any loud, disturbing, or unusual noise which injures or endangers the health, peace or safety of persons of reasonable sensibilities; provided, that this section shall not in any way affect, restrict or prohibit any activities incidental to any scientific or industrial research or manufacturing, construction or repairing conducted in areas zoned for such purposes.

The following acts, among others, are determined to be loud, disturbing and unusual noises, although such enumeration shall not be deemed to be exclusive:

- A. The use or operation of any radio, receiving set, musical instrument, phonograph, loudspeaker, sound amplifier, or any other machine or device producing or reproducing sound which is cast upon the streets for the purpose of commercial advertising or attracting the attention of the public to any building or structure;

Noises Prohibited

- B. The keeping of any animal in violation of Section 6.04.125 of this code;

- C. The shouting and crying of peddlers, hawkers and vendors which disturbs the peace and quiet of the neighborhood;

- D. The using, operating or permitting to be used or operated, any radio, musical instrument, phonograph, or any other machine or device for the reproducing of sound in such a manner as to disturb the peace, quiet or comfort of the neighboring inhabitants or business establishments by any restaurant, drive-in or other commercial establishment.

STORM WATER

Construction Stormwater BMP Notes:

1. All applicable temporary construction and non-stormwater discharge BMPs shall be implemented in accordance with the City of El Cajon minimum BMP requirements included in the El Cajon Municipal Code 13.10 and the City of El Cajon Jurisdictional Runoff Management Program (RMP).

2. The owner/owner's contractor(s) are responsible for pollution prevention practices to prevent the discharge of sediment and pollutants to the public storm drain system.

3. The owner/owner's contractor(s) are responsible for the prevention of erosion caused by grading, clearing of vegetation, demolition or construction.

4. All stormwater BMPs shall be maintained for the duration of the project.

5. All applicable temporary construction erosion and sediment control BMPs shall be implemented for all portions of the project area where applicable. All onsite drainage pathways that convey concentrated flows shall be stabilized to prevent erosion.

6. Run-on from areas outside the project area shall be diverted around work areas to the extent feasible. Run-on that cannot be diverted shall be managed using appropriate erosion and sediment control BMPs.

7. Graded areas around the project perimeter will drain away from the face of slopes at the end of each working day.

8. Provide effective sediment perimeter control around project area to help prevent transport of soil and sediment offsite by using fiber rolls, gravel bags, or other equally effective BMPs.

9. Any sediment tracked onto offsite paved areas shall be removed via sweeping at least daily. All BMPs shall be installed and maintained in accordance with the applicable fact sheets (CASQA, County of San Diego, City of El Cajon).

10. Solid waste and other construction wastes shall be placed in a container daily located in a designated area and shall be disposed of in accordance with applicable requirements.

11. Construction Materials shall be stored in a manner to help avoid being transported in storm water runoff discharges. Concrete waste shall not be washed out onto the ground surface. Concrete washout shall be disposed properly and placed in a washout area designed in accordance with fact sheets (CASQA, County of San Diego, City of El Cajon).

12. Erosion Control measures will be implemented starting the first day of clearing, grading or soil disturbance or construction. These controls will remain in effect until all relevant operations have been completed and disturbed soil have either: established vegetation; or other permanent erosion control at 70% completion.

13. Stockpiles and other sources of pollutants shall be covered when the chance of rain, within the next 48-hour with, is at least 50% precipitation.

14. All gravel bags shall have ¾ inch minimum aggregate (No sandbags or Burlap type bags allowed).

15. In case of Emergency Contact Name: Christin Barkas
Phone: (619)555-4664

NO.	DATE	REVISIONS

MANNIX

danielmannixarch.com
El Cajon, CA 92020
Office (619) 588-7730
Fax (619) 588-2932

The Kidinnu Academy
1701 Granite Hills Drive
El Cajon CA 92019

CUP
Tenant Improvements



PROJECT: CUP CLASSROOMS 21
DATE: 8-25-22
SCALE:
DRAWN: DANIEL MANNIX
APPROVED: DANIEL MANNIX
JOB NO.: 23007

Notes
A4
6 SHEETS
7 TOTAL

SUBJECT TO BUILDING DEPARTMENT APPROVAL



1 South West View

SCALE: NTS



5 South East View

SCALE: NTS



9 West View

SCALE: NTS



2 Trash / Utility Building

SCALE: NTS



6 North Elevation / Main Entry

SCALE: NTS



10 South Elevation

SCALE: NTS



3 Site Monument Sign

SCALE: NTS



7 East View on Dehesa Road

SCALE: NTS



11 Existing Classroom

SCALE: NTS



4 Existing Multi-Purpose Space

SCALE: NTS



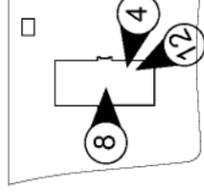
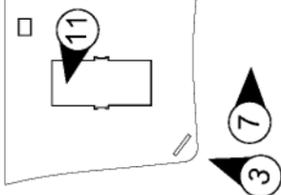
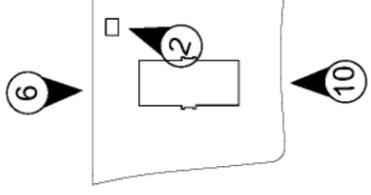
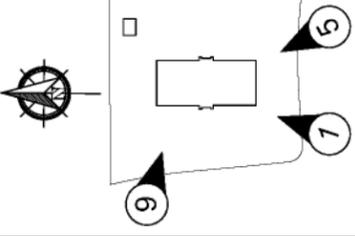
8 Existing West Lobby

SCALE: NTS



12 Fire Alarm Strobe

SCALE: NTS



NO.	DATE	REVISIONS

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The Kidinnu Academy
 1701 Granite Hills Drive El Cajon CA 92019
 CUP Tenant Improvements



PROJECT: CUP CLASSROOMS T.I.
 DATE: 8-25-22
 SCALE:
 DRAWN: DANIEL MANIX
 APPROVED: DANIEL MANIX
 JOB NO.: 22007
 SHEET: P1
 TOTAL: 7



Appendix B

Applicable Noise Regulations

17.115.130 Performance standards.

All uses and operations within the city shall be subject to the following minimum performance standards:

A. Air quality.

1. Smoke. In accordance with section 24242 of the California Health and Safety Code, a person shall not discharge smoke into the atmosphere for a period or periods aggregating more than three (3) minutes in any one (1) hour, which is:
 - a. As dark or darker in shade as that designated as No. 1 on the Ringelmann Chart, as published by the U.S. Bureau of Mines; or
 - b. Of such opacity as to obscure an observer’s view to a degree equal to or greater than does smoke described above.
2. Air pollution. Fly ash, dust, fumes, vapors, gases, and other forms of air pollution, in accordance with section 24243 of the California Health and Safety Code. A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which will cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public or which endanger the comfort, repose, health or safety of any such persons or the public or which cause or have a natural tendency to cause injury or damage to animals, vegetation, business or property. In no event shall any emission from any chimney or other source, or any solid or liquid particles in concentration exceed 0.4 grains per cubic foot of the conveying gas at any point.
3. Odors. No emission shall be permitted of odorous gases or other odorous matter in such quantities as to be readily detectable at the property line of the use from which such odor emits, or at the point of greatest concentration if further than the lot line. Any process that may involve the creation or emission of any odors shall be provided with an adequate secondary safeguard system of control, so that control will be maintained if the primary safeguard system should fail. In no event shall odors, gases or other odorous matter be emitted in such quantities as to be readily detectable when diluted in a ratio of one (1) volume of odorous air to four (4) volumes of clean air.

B. Water quality.

1. Wastes into surface runoff. Any discharge of liquid industrial wastes of any sort to surface streams, flood control channels, storm drains and subsurface pits shall be prohibited in conformance with applicable storm water regulations.
2. Wastes into sanitary sewer. Any wastes discharged into the city sanitary sewer, which may require pretreatment, depending upon the type, concentration and volume of material being handled, shall conform to the requirements of Title 13 of the code of the city.
3. Wastes disposed by hauling. Any industry hauling liquid wastes off-site for disposal shall obtain and conform to waste discharge requirements of the California Regional Water Quality Control Board, San Diego Region, which will necessitate hauling such wastes to a Class 1 site for disposal.

C. Noise.

1. The sound level of any individual operation, land use, or activity other than rail, aircraft, street, or highway transportation, shall not exceed the sound levels indicated in the following table. For the purpose of determining compliance with these noise limitations, the sound levels shall be measured at the property lines of the property upon which the operation, land use, or activity is conducted.

Zones	Time of Day	One-Hour Average Sound Level Decibels
All residentially zoned properties		

	7 a.m.—7 p.m.	60
	7 p.m.—10 p.m.	55
	10 p.m.—7 a.m.	50
All M-U and commercially zoned properties except the C-M zoned properties	7 a.m.—7 p.m.	65
	7 p.m.—10 p.m.	60
	10 p.m.—7 a.m.	55
All C-M and industrially zoned properties	Any time	75
	Conditionally*	80

* Where outdoor noise levels are higher, additional noise attenuation measures, i.e., earphones for workers, increased insulation, double-pane glass, etc., may make noise levels acceptable.

2. For the purposes of this section, interior lease lines within a property or building shall comply with the same standards as lot lines. For noise inside a building, the sound level meter shall be placed at least three (3) feet distant from any wall, ceiling or partition, and the average measurement of at least three (3) different positions throughout the room shall be determined. The sound level limit at a location on a boundary between two (2) adjoining zoning districts shall be that of the more restrictive zone. When any sound level measurement is required it will be made pursuant to the provisions of this chapter and shall be measured with a sound level meter.

3. Equipment noise. It is unlawful for any person within any residential zone, or within a radius of five hundred (500) feet from any residential zone, to operate equipment or perform any outside construction, maintenance or repair work on buildings, structures, landscapes or related facilities, or to operate any pile driver, power shovel, pneumatic hammer, power hoist, leaf blower, mower, or any other mechanical device, between the hours of 7 p.m. of one (1) day and 7 a.m. of the next day in such a manner that a reasonable person of normal sensitivities residing in the area is caused discomfort or annoyance. This subsection shall also apply to any property in the Mixed-Use zone having one or more residential units. This restriction does not apply to emergency work made necessary to restore property to a safe condition, restore utility service, or to protect persons or property from an imminent exposure to danger.

4. Vehicle repairs.

a. It is unlawful for any person within any residential zone of the city to repair, rebuild, or test any automobile between the hours of 7 p.m. of one (1) day and 7 a.m. of the next day. This subsection shall also apply to any property in the Mixed-Use zone having one or more residential units.

b. It is unlawful for any person within any residential zone of the city to repair, rebuild or test any automobile which is not registered with the Department of Motor Vehicles to a person residing at the address or to an immediate family member of a person residing at the address where such repairing, rebuilding or testing is being performed unless proof of exemption from such registration is provided which clearly demonstrates ownership by a resident at the subject address or an immediate family member of a resident at the subject address. This subsection shall also apply to any property in the Mixed-Use zone that includes one or more residential units.

c. Under no circumstances is the operation of an automotive repair facility as a business permitted in any residential zone, or on a property in the Mixed-Use zone that includes one or more residential units on the property.

5. Property upkeep.

a. Exterior yards, including front yard setback areas in residential zones, shall be maintained in a clean and sanitary condition, free of garbage, debris, demolition waste, overgrown vegetation, scrap wood and metal, automotive or recreational vehicle parts and fluids, defective appliances or machinery, mattresses or other indoor furnishings, whether in a state of repair or not. This does not include firewood which is neatly stacked and maintained or outdoor furniture in good repair.

b. Properties shall not harbor rodents or insect infestations.

6. Refuse vehicles and parking lot sweepers. No person shall operate or permit to be operated a refuse compacting, processing or collection vehicle or parking lot sweeper between the hours of 7 p.m. of one (1) day and 7 a.m. of the next day in any residential zone.

7. Notwithstanding any other provision of this chapter, and in addition thereto, it is unlawful for any person to willfully make or continue, or cause to be made or continued, any loud, unnecessary, or unusual noise which disturbs the peace or quiet of any neighborhood, or which causes discomfort or annoyance to any reasonable person of normal sensitivity residing in the area. The standards which shall be considered in determining whether a violation of the provisions of this section exists shall include, but not be limited to, the following:

- a. The level of the noise;
- b. The intensity of the noise;
- c. Whether the nature of the noise is usual or unusual;
- d. Whether the origin of the noise is natural or unnatural;
- e. The level and intensity of the background noise, if any;
- f. The proximity of the noise to residential sleeping facilities;
- g. The nature and zoning of the area within which the noise emanates;
- h. The density of the inhabitation of the area within which the noise emanates;
- i. The time of the day or night the noise occurs;
- j. The duration of the noise;
- k. Whether the noise is recurrent, intermittent, or constant; and
- l. Whether the noise is produced by a commercial or noncommercial activity.

8. Specific exemptions. Special events of short duration, such as carnivals, fireworks displays, outdoor concerts, parades and sports activities, which are regulated by separate city approval such as a conditional use permit, are specifically exempted from the provisions of this chapter. Noise regulations for such events, however, may be applied as a condition of such separate approval.

9. Enforcement and penalties.

- a. It is a violation for any property owner(s) and/or person(s) in control of property to permit or cause a noise disturbance to be produced upon property owned by them or under their control.
- b. It is a violation for any person or persons to create or allow the making of noise disturbance as provided by this chapter at any location in the city.
- c. Any person violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor or infraction, and shall be subject to the provisions of the general penalty clause as set forth in section 1.24.010 of this code.
- d. The operation or maintenance of any device, instrument, vehicle or machinery in violation of any provision of this chapter which causes or creates sound levels or vibration exceeding the allowable limits as specified in this chapter, is declared to be a public nuisance and may be subject to abatement summarily by a restraining order or injunction issued by a court of competent jurisdiction. Additionally, no provision of this chapter shall be construed to impair any common law or statutory cause or action, or legal remedy of any person for injury or damage arising from any violation of this chapter or from any other law.

D. Vibrations. Every use shall be so operated that the ground vibration generated by such use is not harmful or injurious to the use or development of surrounding properties. No vibration shall be permitted which is perceptible without instruments at any use along the property line on which such use is located. For the purpose of this determination, the boundary of any lease agreement or operating unit or properties operating as a unit shall be considered the same as the property line.

E. Radioactivity. No activities shall be permitted which emit dangerous radioactivity at any point.

F. Electrical disturbance. No activity shall be permitted which causes electrical disturbances affecting the operation of any equipment located beyond the property line of such activity.

G. Other performance quality. Other uses not specifically noted above are required to conform to performance standards as set forth by the following provisions:

1. No use shall be undertaken or maintained unless it conforms to the regulations set forth in this section. No land or building shall be used or occupied in any manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosion or other hazard, noise or vibration, smoke, dust, odor, airborne sand, materials in suspension such as paint droplets or any other form of air pollution, heat, cold, dampness, electrical or other disturbance, glare, liquid or solid refuse or wastes, or other substance, condition or element in such a manner or in such an amount as to affect adversely the surrounding area or adjacent premises.

H. Heating, Ventilation and Air Conditioning.

1. All HVAC units must attenuate noise to acceptable levels through one of the following standards:

- a. The HVAC must be kept a minimum of thirty (30) feet from the property line; or
- b. The HVAC must be surrounded by walls or parapet walls that obstruct the line of sight to adjacent uses; or
- c. The HVAC must be kept in a mechanical room; or
- d. An alternative noise attenuation measure that would reduce the noise levels to less than the applicable noise level limits.

I. Ground-Floor Transparency.

1. All ground-floor windows shall be maintained transparent. If windows are to be obscured, no more than fifteen percent (15%) of the window area may be obscured.

(Ord. 5081 § 5, 2019.)

View the [mobile version](#).

Cross reference(s)--Definitions, § [12.101](#) et seq.

SEC. 36.403. SOUND LEVEL MEASUREMENT.

(a) A sound level measurement made pursuant to this chapter shall be measured with a sound level meter using A-weighting and a "slow" response time, as these terms are used in ANSI S1.1-1994 or its latest revision.

(b) Each measurement shall be conducted at the boundary line of the property on which the noise source is located or any place on the affected property, but no closer than five feet from the noise source.

(c) The sound level meter shall be calibrated and adjusted by means of an acoustical calibrator of the coupler-type to assure meter accuracy within the tolerances in the ANSI specifications for sound level meters, ANSI S1.4-1983 or its latest revision. The sound level meter shall be used as provided in the manufacturer's instructions.

(Amended by Ord. No. 9962 (N.S.), effective 1-9-09)

SEC. 36.404. GENERAL SOUND LEVEL LIMITS.

(a) Except as provided in section [36.409](#) of this chapter, it shall be unlawful for any person to cause or allow the creation of any noise, which exceeds the one-hour average sound level limits in [Table 36.404](#), when the one-hour average sound level is measured at the property line of the property on which the noise is produced or at any location on a property that is receiving the noise.

**TABLE 36.404
SOUND LEVEL LIMITS IN DECIBELS (dBA)**

ZONE	TIME	ONE-HOUR AVERAGE SOUND LEVEL LIMITS (dBA)
(1) RS, RD, RR, RMH, A70, A72, S80, S81, S90, S92, RV, and RU with a General Plan Land Use Designation density of less than 10.9 dwelling units per acre.	7 a.m. to 10 p.m.	50
	10 p.m. to 7 a.m.	45
(2) RRO, RC, RM, S86, V5, RV and RU with a General Plan Land Use Designation density of 10.9 or more dwelling units per acre.	7 a.m. to 10 p.m.	55
	10 p.m. to 7 a.m.	50
(3) S94, V4, and all commercial zones.	7 a.m. to 10 p.m.	60
	10 p.m. to 7 a.m.	55
(4) V1, V2	7 a.m. to 7 p.m.	60
V1, V2	7 p.m. to 10 p.m.	55
V1	10 p.m. to 7 a.m.	55
V2	10 p.m. to 7 a.m.	50
V3	7 a.m. to 10 p.m.	70
	10 p.m. to 7 a.m.	65
(5) M50, M52, and M54	Anytime	70

(6)	S82, M56, and M58.	Anytime	75
(7)	S88 (see subsection (c) below)		

(b) Where a noise study has been conducted and the noise mitigation measures recommended by that study have been made conditions of approval of a Major Use Permit, which authorizes the noise-generating use or activity and the decision making body approving the Major Use Permit determined that those mitigation measures reduce potential noise impacts to a level below significance, implementation and compliance with those noise mitigation measures shall constitute compliance with subsection (a) above.

(c) S88 zones are Specific Planning Areas which allow different uses. The sound level limits in [Table 36.404](#) above that apply in an S88 zone depend on the use being made of the property. The limits in [Table 36.404](#), subsection (1) apply to property with a residential, agricultural or civic use. The limits in subsection (3) apply to property with a commercial use. The limits in subsection (5) apply to property with an industrial use that would only be allowed in an M50, M52 or M54 zone. The limits in subsection (6) apply to all property with an extractive use or a use that would only be allowed in an M56 or M58 zone.

(d) If the measured ambient noise level exceeds the applicable limit in [Table 36.404](#), the allowable one-hour average sound level shall be the one-hour average ambient noise level, plus three decibels. The ambient noise level shall be measured when the alleged noise violation source is not operating.

(e) The sound level limit at a location on a boundary between two zones is the arithmetic mean of the respective limits for the two zones. The one-hour average sound level limit applicable to extractive industries, however, including but not limited to borrow pits and mines, shall be 75 decibels at the property line regardless of the zone in which the extractive industry is located.

(f) A fixed-location public utility distribution or transmission facility located on or adjacent to a property line shall be subject to the sound level limits of this section measured at or beyond six feet from the boundary of the easement upon which the facility is located.

(Amended by Ord. No. 7094 (N.S.), effective 3-25-86; amended by Ord. No. 9478 (N.S.), effective 7-19-02; amended by Ord. No. 9621 (N.S.), effective 1-9-04; amended by Ord. No. 9962 (N.S.), effective 1-9-09; amended by Ord. No. 10211 (N.S.), effective 6-1-12)

📖 SEC. 36.405. REPAIRING, REBUILDING OR TESTING MOTOR VEHICLES.

It shall be unlawful for any person to repair, rebuild or test any motor vehicle in such a manner as to cause a disturbing, excessive or offensive noise as defined in section [36.402](#) of this chapter.

(Amended by Ord. No. 9962 (N.S.), effective 1-9-09)

📖 SEC. 36.406. POWERED MODEL VEHICLES.

It shall be unlawful for any person to operate a powered model vehicle between 9 p.m. and 7 a.m. A powered model vehicle operated in a County park shall meet the daytime sound level standards for an RS zone measured at a point 100 feet from the park property line or 100 feet from where the model vehicle is being operated, whichever is less.

(Amended by Ord. No. 9962 (N.S.), effective 1-9-09)

📖 SEC. 36.407. REFUSE VEHICLES & PARKING LOT SWEEPERS.

No person shall operate or allow to be operated, a refuse compacting, processing, or collection vehicle or a parking lot sweeper between the hours of 10 p.m. to 6 a.m., in or within 100 feet of a residential zone.



Appendix C

CadnaA Analysis Data and Results

Eilar Associates, Inc.

210 South Juniper Street, Suite 100

Escondido, California 92025-4230

Phone: (760) 738-5570

Date: 18 Nov 2022

Calculation Configuration

Configuration	
Parameter	Value
General	
Max. Error (dB)	0.00
Max. Search Radius #(Unit,LEN)	2000.01
Min. Dist Src to Rcvr	0.00
Partition	
Raster Factor	0.50
Max. Length of Section #(Unit,LEN)	999.99
Min. Length of Section #(Unit,LEN)	1.01
Min. Length of Section (%)	0.00
Proj. Line Sources	On
Proj. Area Sources	On
Ref. Time	
Reference Time Day (min)	960.00
Reference Time Night (min)	480.00
Daytime Penalty (dB)	0.00
Recr. Time Penalty (dB)	6.00
Night-time Penalty (dB)	10.00
DTM	
Standard Height (m)	0.00
Model of Terrain	Triangulation
Reflection	
max. Order of Reflection	1
Search Radius Src	100.00
Search Radius Rcvr	100.00
Max. Distance Source - Rcvr	1000.00 1000.00
Min. Distance Rcvr - Reflector	1.00 1.00
Min. Distance Source - Reflector	0.10
Industrial (ISO 9613)	
Lateral Diffraction	some Obj
Obst. within Area Src do not shield	On
Screening	
	Excl. Ground Att. over Barrier
	Dz with limit (20/25)
Barrier Coefficients C1,2,3	3.0 20.0 0.0
Temperature #(Unit,TEMP)	20
rel. Humidity (%)	50
Ground Absorption G	0.40
Wind Speed for Dir. #(Unit,SPEED)	3.0
Roads (TNM)	
Railways (Schall 03 (1990))	
Strictly acc. to Schall 03 / Schall-Transrapid	
Aircraft (???)	
Strictly acc. to AzB	

Receivers

Name	M.	ID	Level Lr		Limit. Value		Land Use			Height	Coordinates			
			Day	Night	Day	Night	Type	Auto	Noise Type		X	Y	Z	
			(dBA)	(dBA)	(dBA)	(dBA)				(ft)	(ft)	(ft)	(ft)	
R1			40.8	-80.2	0.0	0.0		x	Total	5.00	r	465.97	709.79	559.88
R2			45.4	-80.2	0.0	0.0		x	Total	5.00	r	643.84	622.44	570.10
R3			37.8	-80.2	0.0	0.0		x	Total	5.00	r	646.87	491.93	566.95
R4			32.9	-80.2	0.0	0.0		x	Total	5.00	r	580.89	279.19	550.41
R5			36.9	-80.2	0.0	0.0		x	Total	5.00	r	271.42	437.86	551.54
R6			43.7	-80.2	0.0	0.0		x	Total	5.00	r	248.71	636.87	555.69

Area Sources

Name	M.	ID	Result. PWL			Result. PWL"			Lw / Li			Correction			Sound Reduction		Attenuation	Operating Time			K0	Freq.	Direct.	Moving Pt. Src		
			Day	Evening	Night	Day	Evening	Night	Type	Value	norm.	Day	Evening	Night	R	Area		Day	Special	Night				Number		
			(dBA)	(dBA)	(dBA)	(dBA)	(dBA)	(dBA)			dB(A)	dB(A)	dB(A)	dB(A)		(ft²)		(min)	(min)	(min)	(dB)	(Hz)		Day	Evening	Night
Dismissal	+		98.3	-17.9	-17.9	74.7	-41.6	-41.6	PWL-Pt	Voices		0.0	0.0	0.0				9.00	0.00	0.00	0.0		(none)	42.0	0.0	0.0

Geometry - Area Sources

Name	Height		Coordinates			
	Begin	End	x	y	z	Ground
	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)
Dismissal	4.00	r	402.96	616.50	557.17	553.17
			403.13	633.55	556.87	552.87
			555.58	633.55	557.81	553.81
			555.58	618.21	558.03	554.03

Barriers

Name	M.	ID	Absorption		Z-Ext.	Cantilever		Height	
			left	right		horz.	vert.	Begin	End
					(ft)	(ft)	(ft)		(ft)
Existing Barrier			0.37	0.37					

Geometry - Barriers

Name	M.	ID	Absorption		Z-Ext.	Cantilever		Height		Coordinates			
			left	right		horz.	vert.	Begin	End	x	y	z	Ground
					(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)
Existing Barrier			0.37	0.37						314.44	701.96	560.74	552.31
										421.18	701.96	560.74	554.24
										572.05	702.85	564.10	556.60
										638.28	703.02	564.10	562.82
										638.20	702.23	568.48	563.05
										638.88	666.50	568.48	563.48
										639.31	588.08	568.48	563.21
										640.39	461.75	565.68	559.68
										639.96	458.31	563.99	559.49
										639.96	383.97	558.15	551.90

Buildings

Name	M.	ID	RB	Residents	Absorption	Height Begin (ft)	
			x	0	0.37	567.00	a
			x	0	0.37	555.00	a
			x	0	0.37	558.00	a
			x	0	0.37	556.00	a
			x	0	0.37	557.00	a
			x	0	0.37	564.00	a
			x	0	0.37	562.00	a
			x	0	0.37	565.00	a

Geometry - Buildings

Name	M.	ID	RB	Residents	Absorption	Height		Coordinates			
						Begin (ft)		x (ft)	y (ft)	z (ft)	Ground (ft)
			x	0	0.37	567.00	a	444.63	617.08	567.00	553.75
								521.33	617.29	567.00	554.55
								521.55	539.95	567.00	554.00
								526.28	539.96	567.00	554.00
								526.49	515.24	567.00	554.00
								521.55	515.24	567.00	554.00
								521.33	437.90	567.00	552.51
								445.28	437.90	567.00	552.40
								445.11	515.32	567.00	554.00
								440.16	515.32	567.00	554.00
								440.33	539.36	567.00	554.00
								444.77	539.36	567.00	554.00
			x	0	0.37	555.00	a	60.16	555.36	555.00	541.62
								101.41	555.36	555.00	544.53
								100.98	529.58	555.00	543.92
								59.30	529.15	555.00	540.96
			x	0	0.37	558.00	a	183.05	535.17	558.00	545.00
								213.56	550.64	558.00	545.00
								229.03	520.13	558.00	545.00
								187.78	498.64	558.00	544.44
								177.46	517.98	558.00	544.96
								189.92	524.43	558.00	545.00
			x	0	0.37	556.00	a	190.44	479.02	556.00	544.07
								245.01	471.71	556.00	545.68
								235.56	423.16	556.00	545.00
								206.34	427.03	556.00	544.95
								210.63	458.39	556.00	544.97
								188.72	460.54	556.00	544.01
			x	0	0.37	557.00	a	141.02	387.06	557.00	541.22
								158.64	404.68	557.00	542.53

Name	M.	ID	RB	Residents	Absorption	Height	Coordinates			
							x	y	z	Ground
						Begin	(ft)	(ft)	(ft)	(ft)
							174.54	387.92	557.00	542.74
							193.88	407.26	557.00	544.19
							217.08	381.48	557.00	543.58
							180.99	347.10	557.00	541.45
			x	0	0.37	564.00 a	160.25	658.20	564.00	548.44
							179.20	697.72	564.00	548.64
							205.18	684.73	564.00	549.55
							187.32	647.37	564.00	549.47
			x	0	0.37	562.00 a	335.12	744.82	562.00	551.29
							363.27	745.36	562.00	551.97
							362.73	814.12	562.00	474.49
							333.49	814.12	562.00	474.32
			x	0	0.37	565.00 a	582.97	691.98	565.00	555.17
							603.17	691.81	565.00	556.30
							603.35	679.62	565.00	554.04
							582.88	679.70	565.00	554.00

Terrain Contours

Name	M.	ID	OnlyPts	Height		Coordinates		
				Begin (ft)	End (ft)	x (ft)	y (ft)	z (ft)
						385.02	621.86	553.00
						386.93	641.00	552.00
						407.17	652.21	553.00
						409.90	634.71	553.00
						477.99	634.71	554.00
						479.63	654.67	554.00
						491.93	654.67	554.00
						492.21	635.25	555.00
						550.18	635.25	554.00
						549.91	653.85	554.00
						567.68	653.58	554.00
						576.16	622.95	553.00
						557.56	621.86	554.00
						557.02	555.13	554.00
						557.29	507.28	554.00
						558.59	454.11	553.00
						575.09	453.89	553.00
						575.74	440.21	552.00
						559.24	423.29	551.00
						548.61	421.77	552.00
						425.55	420.25	552.00
						405.36	425.46	552.00
						397.98	442.82	552.00
						389.74	515.53	554.00
						388.70	539.99	554.00
						384.22	617.16	553.00
						660.12	680.85	570.00
						750.84	698.21	569.00
						756.48	630.93	574.00
						752.57	539.34	576.00
						752.57	511.12	572.00
						752.57	457.30	567.00
						717.85	444.27	565.00
						672.27	463.81	568.00
						672.70	517.63	569.00
						653.60	526.31	568.00
						656.21	675.64	570.00
						644.05	364.15	549.00
						754.74	343.31	551.00
						786.87	334.63	552.00
						876.29	303.38	554.00
						898.50	293.34	552.00
						563.49	357.22	548.00
						469.43	357.22	547.00

Name	M.	ID	OnlyPts	Height		Coordinates		
				Begin (ft)	End (ft)	x (ft)	y (ft)	z (ft)
						392.94	352.74	546.00
						365.73	348.95	546.00
						343.33	368.59	546.00
						331.61	441.95	547.00
						317.12	596.18	550.00
						363.11	200.16	543.00
						350.02	273.85	539.00
						449.01	284.24	541.00
						515.19	288.07	543.00
						601.06	291.35	544.00
						649.73	289.17	546.00
						726.30	277.13	549.00
						802.32	254.16	550.00
						874.51	229.01	550.00
						899.67	216.43	551.00
						50.32	227.82	536.00
						79.19	234.83	537.00
						108.45	242.21	538.00
						155.49	251.23	540.00
						191.04	259.16	541.00
						258.85	268.74	543.00
						285.65	259.16	544.00
						296.32	243.30	545.00
						299.32	213.50	545.00
						299.06	201.79	545.00
						49.88	306.43	536.00
						77.52	302.85	537.00
						114.73	311.81	538.00
						157.11	322.84	540.00
						208.79	329.38	541.00
						256.34	335.59	543.00
						276.30	347.07	544.00
						285.05	368.40	545.00
						281.77	411.61	546.00
						273.30	483.01	548.00
						265.10	563.14	549.00
						253.38	648.24	551.00
						242.36	692.00	551.00
						228.96	741.22	551.00
						216.56	784.29	550.00
						51.66	466.34	539.00
						83.68	467.30	542.00
						115.95	486.99	544.00
						143.29	487.54	543.00
						165.17	456.91	543.00
						159.70	433.39	543.00

Name	M.	ID	OnlyPts	Height		Coordinates		
				Begin (ft)	End (ft)	x (ft)	y (ft)	z (ft)
						137.28	419.17	542.00
						107.20	426.28	541.00
						89.70	439.95	540.00
						70.01	440.50	540.00
						51.42	440.63	538.00
						55.35	733.17	546.00
						76.32	745.17	546.00
						108.88	729.98	547.00
						114.95	696.55	546.00
						90.65	673.55	545.00
						53.95	677.72	544.00
						282.76	777.75	550.00
						311.20	753.13	551.00
						313.39	736.18	551.00
						330.89	736.18	551.00
						330.34	716.49	552.00
						301.36	714.30	552.00
						390.46	708.48	554.00
						461.44	707.45	555.00
						462.13	729.50	554.00
						520.70	728.47	556.00
						521.39	707.11	557.00
						466.95	707.11	555.00
						565.52	716.88	559.00
						564.22	778.08	555.00
						665.80	780.25	556.00
						717.46	781.99	558.00
						835.53	779.82	561.00
						884.58	780.69	562.00
						883.71	752.04	565.00
						884.15	711.67	572.00
						841.61	711.67	570.00
						722.23	710.36	565.00
						669.27	709.93	562.00
						612.40	709.50	560.00
						572.47	709.93	558.00
						443.36	746.34	554.00
						419.58	746.00	554.00
						322.84	710.51	553.00
						364.18	710.16	553.00
						366.25	748.41	552.00
						445.52	778.62	552.00
						466.85	767.13	553.00
						527.29	766.86	553.00
						519.36	760.85	554.00
						519.09	738.69	555.00

Name	M.	ID	OnlyPts	Height		Coordinates		
				Begin (ft)	End (ft)	x (ft)	y (ft)	z (ft)
						476.43	740.34	554.00
						206.51	773.88	551.00
						214.43	742.53	551.00
						151.72	730.81	549.00
						144.83	750.45	549.00
						162.06	754.24	549.00
						182.73	779.74	549.00
						193.07	771.81	550.00
						184.11	728.05	549.00
						218.22	735.63	551.00
						228.56	692.22	550.00
						223.73	684.64	550.00
						188.25	697.73	549.00
						181.36	720.47	549.00
						220.73	588.66	550.00
						234.68	628.31	550.00
						242.33	589.21	550.00
						225.10	588.66	550.00
						218.36	673.34	550.00
						198.67	625.21	550.00
						159.84	619.47	549.00
						186.64	592.12	550.00
						148.34	510.28	545.00
						156.81	579.75	549.00
						187.71	578.38	547.00
						231.20	576.46	546.00
						251.43	572.64	546.00
						256.08	522.59	545.00
						235.84	519.86	545.00
						227.09	553.77	545.00
						183.34	554.59	545.00
						167.20	528.06	545.00
						158.45	496.61	543.00
						214.53	485.63	545.00
						254.73	468.41	546.00
						266.48	424.65	546.00
						265.66	395.39	546.00
						241.05	402.77	545.00
						206.05	415.90	545.00
						247.07	414.81	545.00
						250.08	460.20	545.00
						386.89	256.45	543.00
						495.08	267.48	545.00
						580.53	268.17	547.00
						649.44	264.38	548.00
						651.85	238.54	547.00

Name	M.	ID	OnlyPts	Height		Coordinates		
				Begin (ft)	End (ft)	x (ft)	y (ft)	z (ft)
						695.60	232.68	548.00
						721.45	216.14	549.00
						721.10	205.46	549.00
						385.51	203.74	543.00
						366.56	250.60	543.00
						52.71	784.88	547.00
						181.36	784.98	550.00
						215.51	784.55	551.00
						241.98	783.70	550.00
						281.25	783.70	550.00
						445.59	783.27	552.00
						563.47	782.30	555.00
						895.99	780.57	562.00
						896.24	710.34	572.00
						898.41	293.34	552.00
						898.70	255.43	551.00
						899.55	216.59	551.00
						898.14	200.81	552.00
						721.44	201.58	549.00
						385.61	202.93	543.00
						363.20	200.21	543.00
						320.93	201.38	545.00
						299.30	202.10	545.00
						48.40	206.19	536.00
						48.62	227.66	536.00
						48.88	261.79	537.00
						49.52	306.19	536.00
						51.42	440.58	538.00
						51.73	466.20	539.00
						54.70	677.52	544.00
						55.38	733.17	546.00
						55.93	782.72	547.00
Granite Hills Drive		R_1				242.23	786.60	550.00
						262.20	717.14	551.00
						277.83	632.92	551.00
						292.59	537.42	549.00
						303.00	441.05	548.00
						309.95	361.17	546.00
						314.73	312.99	545.00
						317.76	276.96	545.00
						320.97	200.60	545.00
Dehesa Road		R_2				50.32	261.88	537.00
						92.98	273.91	538.00
						170.10	290.86	541.00
						249.40	305.08	543.00
						315.20	312.85	545.00

Name	M.	ID	OnlyPts	Height		Coordinates		
				Begin (ft)	End (ft)	x (ft)	y (ft)	z (ft)
						439.19	322.04	546.00
						577.57	326.03	548.00
						673.83	319.31	548.00
						808.92	289.77	550.00
						900.26	255.31	551.00
						599.02	355.12	547.00
						599.02	397.67	552.00
						616.25	397.67	552.00
						615.73	494.30	554.00
						614.21	585.03	554.00
						613.56	676.18	554.00
						560.82	675.75	554.00
						560.39	693.11	554.00
						500.09	692.01	554.00
						428.45	691.33	554.00
						347.10	691.06	553.00
						347.10	674.51	553.00
						341.36	672.87	552.00
						306.49	672.05	551.00
						312.92	645.80	551.00
						355.85	645.53	552.00
						356.02	631.58	552.00
						339.66	631.49	552.00
						346.22	570.37	553.00
						355.99	474.44	553.00
						362.93	402.39	551.00
						380.51	402.60	552.00
						381.81	382.64	551.00
						461.90	383.50	552.00
						556.96	385.02	551.00
						558.26	402.17	551.00
						572.15	401.95	551.00
						572.15	358.11	548.00

Sound Level Spectra

Name	ID	Type	1/3 Oktave Spectrum (dB)											Source
			Weight.	63	125	250	500	1000	2000	4000	8000	A	lin	
Children - Loud	Voices	Lw (c)			42.1	66.9	75.2	77.8	76.1	69.2	74.1	82.1	82.4	Pearson et al

Eilar Associates, Inc.
 210 South Juniper Street, Suite 100
 Escondido, California 92025-4230
 Phone: (760) 738-5570
 Date: 18 Nov 2022

Calculation Configuration

Configuration	
Parameter	Value
General	
Max. Error (dB)	0.00
Max. Search Radius #(Unit,LEN)	2000.01
Min. Dist Src to Rcvr	0.00
Partition	
Raster Factor	0.50
Max. Length of Section #(Unit,LEN)	999.99
Min. Length of Section #(Unit,LEN)	1.01
Min. Length of Section (%)	0.00
Proj. Line Sources	On
Proj. Area Sources	On
Ref. Time	
Reference Time Day (min)	960.00
Reference Time Night (min)	480.00
Daytime Penalty (dB)	0.00
Recr. Time Penalty (dB)	6.00
Night-time Penalty (dB)	10.00
DTM	
Standard Height (m)	0.00
Model of Terrain	Triangulation
Reflection	
max. Order of Reflection	1
Search Radius Src	100.00
Search Radius Rcvr	100.00
Max. Distance Source - Rcvr	1000.00 1000.00
Min. Distance Rcvr - Reflector	1.00 1.00
Min. Distance Source - Reflector	0.10
Industrial (ISO 9613)	
Lateral Diffraction	some Obj
Obst. within Area Src do not shield	On
Screening	
	Excl. Ground Att. over Barrier
	Dz with limit (20/25)
Barrier Coefficients C1,2,3	3.0 20.0 0.0
Temperature #(Unit,TEMP)	20
rel. Humidity (%)	50
Ground Absorption G	0.40
Wind Speed for Dir. #(Unit,SPEED)	3.0
Roads (TNM)	
Railways (Schall 03 (1990))	
Strictly acc. to Schall 03 / Schall-Transrapid	
Aircraft (???)	
Strictly acc. to AzB	

Receivers

Name	M.	ID	Level Lr		Limit. Value		Land Use			Height	Coordinates			
			Day	Night	Day	Night	Type	Auto	Noise Type		X	Y	Z	
			(dBA)	(dBA)	(dBA)	(dBA)				(ft)	(ft)	(ft)	(ft)	
R1			41.1	-80.2	0.0	0.0		x	Total	5.00	r	465.97	709.79	559.88
R2			53.5	-80.2	0.0	0.0		x	Total	5.00	r	643.84	622.44	570.10
R3			51.9	-80.2	0.0	0.0		x	Total	5.00	r	646.87	491.93	566.95
R4			46.5	-80.2	0.0	0.0		x	Total	5.00	r	580.89	279.19	550.41
R5			45.1	-80.2	0.0	0.0		x	Total	5.00	r	271.42	437.86	551.54
R6			48.0	-80.2	0.0	0.0		x	Total	5.00	r	248.71	636.87	555.69

Area Sources

Name	M.	ID	Result. PWL			Result. PWL"			Lw / Li		Correction			Sound Reduction		Attenuation	Operating Time			K0	Freq.	Direct.	Moving Pt. Src									
			Day	Evening	Night	Day	Evening	Night	Type	Value	norm.	Day	Evening	Night	R		Area	Day	Special				Night	Number	Day	Evening	Night					
			(dBA)	(dBA)	(dBA)	(dBA)	(dBA)	(dBA)								(ft²)	(min)	(min)	(min)	(dB)	(Hz)											
East Recess			102.1	-17.9	-17.9	70.6	-49.4	-49.4	PWL-Pt	Voices		0.0		0.0	0.0			15.00	0.00	0.00	0.0		(none)	100.0	0.0	0.0						
West Recess			102.1	-17.9	-17.9	73.8	-46.2	-46.2	PWL-Pt	Voices		0.0		0.0	0.0			15.00	0.00	0.00	0.0		(none)	100.0	0.0	0.0						

Geometry - Area Sources

Name	Height		Coordinates			
	Begin	End	x	y	z	Ground
	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)
East Recess	4.50	r	557.47	616.27	558.50	554.00
			557.57	620.77	558.50	554.00
			613.46	620.93	558.49	553.99
			615.57	441.32	557.39	552.89
			523.69	440.92	557.10	552.60
			523.69	466.03	557.63	553.13
			534.18	466.07	557.66	553.16
			534.23	491.34	558.14	553.64
			523.07	491.27	558.12	553.62
			523.07	513.30	558.50	554.00
			527.68	513.28	558.50	554.00
			527.70	540.70	558.50	554.00
			523.05	540.64	558.50	554.00
			523.02	558.57	558.50	554.00
			533.16	558.53	558.50	554.00
			533.15	586.34	558.87	554.37
			538.10	586.36	558.79	554.29
			538.20	616.30	558.80	554.30
West Recess			443.71	447.71	0.00	552.61
			418.74	448.25	0.00	552.59
			418.84	450.30	0.00	552.64
			401.49	448.92	0.00	552.27
			386.23	591.41	0.00	553.34
			386.19	617.90	0.00	553.01
			402.00	618.15	0.00	553.14
			401.77	612.91	0.00	553.20
			423.03	612.91	0.00	553.49
			421.96	601.86	0.00	553.63
			423.02	588.26	0.00	553.84
			427.62	588.08	0.00	553.91
			427.85	583.98	0.00	553.97
			432.87	583.94	0.00	554.00
			433.33	561.19	0.00	554.00
			442.63	561.42	0.00	554.00
			442.84	540.79	0.00	554.00
			438.88	540.68	0.00	554.00
			438.96	513.57	0.00	554.00
			443.68	513.65	0.00	554.00
			443.74	490.42	0.00	553.52
			433.59	490.68	0.00	553.51
			433.78	466.04	0.00	552.99
			443.38	465.98	0.00	553.00

Barriers

Name	M.	ID	Absorption		Z-Ext.	Cantilever		Height	
			left	right		horz.	vert.	Begin	End
					(ft)	(ft)	(ft)		(ft)
Existing Barrier			0.37	0.37					

Geometry - Barriers

Name	M.	ID	Absorption		Z-Ext.	Cantilever		Height		Coordinates			
			left	right		horz.	vert.	Begin	End	x	y	z	Ground
					(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)
Existing Barrier			0.37	0.37						314.44	701.96	560.74	552.31
										421.18	701.96	560.74	554.24
										572.05	702.85	564.10	556.60
										638.28	703.02	564.10	562.82
										638.20	702.23	568.48	563.05
										638.88	666.50	568.48	563.48
										639.31	588.08	568.48	563.21
										640.39	461.75	565.68	559.68
										639.96	458.31	563.99	559.49
										639.96	383.97	558.15	551.90

Buildings

Name	M.	ID	RB	Residents	Absorption	Height
						Begin (ft)
			x	0	0.37	567.00 a
			x	0	0.37	555.00 a
			x	0	0.37	558.00 a
			x	0	0.37	556.00 a
			x	0	0.37	557.00 a
			x	0	0.37	564.00 a
			x	0	0.37	562.00 a
			x	0	0.37	565.00 a

Geometry - Buildings

Name	M.	ID	RB	Residents	Absorption	Height		Coordinates			
						Begin (ft)	a	x (ft)	y (ft)	z (ft)	Ground (ft)
			x	0	0.37	567.00	a	444.63	617.08	567.00	553.75
								521.33	617.29	567.00	554.55
								521.55	539.95	567.00	554.00
								526.28	539.96	567.00	554.00
								526.49	515.24	567.00	554.00
								521.55	515.24	567.00	554.00
								521.33	437.90	567.00	552.51
								445.28	437.90	567.00	552.40
								445.11	515.32	567.00	554.00
								440.16	515.32	567.00	554.00
								440.33	539.36	567.00	554.00
								444.77	539.36	567.00	554.00
			x	0	0.37	555.00	a	60.16	555.36	555.00	541.62
								101.41	555.36	555.00	544.53
								100.98	529.58	555.00	543.92
								59.30	529.15	555.00	540.96
			x	0	0.37	558.00	a	183.05	535.17	558.00	545.00
								213.56	550.64	558.00	545.00
								229.03	520.13	558.00	545.00
								187.78	498.64	558.00	544.44
								177.46	517.98	558.00	544.96
								189.92	524.43	558.00	545.00
			x	0	0.37	556.00	a	190.44	479.02	556.00	544.07
								245.01	471.71	556.00	545.68
								235.56	423.16	556.00	545.00
								206.34	427.03	556.00	544.95
								210.63	458.39	556.00	544.97
								188.72	460.54	556.00	544.01
			x	0	0.37	557.00	a	141.02	387.06	557.00	541.22
								158.64	404.68	557.00	542.53

Name	M.	ID	RB	Residents	Absorption	Height	Coordinates			
							x	y	z	Ground
						Begin				
						(ft)	(ft)	(ft)	(ft)	(ft)
							174.54	387.92	557.00	542.74
							193.88	407.26	557.00	544.19
							217.08	381.48	557.00	543.58
							180.99	347.10	557.00	541.45
			x	0	0.37	564.00 a	160.25	658.20	564.00	548.44
							179.20	697.72	564.00	548.64
							205.18	684.73	564.00	549.55
							187.32	647.37	564.00	549.47
			x	0	0.37	562.00 a	335.12	744.82	562.00	551.29
							363.27	745.36	562.00	551.97
							362.73	814.12	562.00	474.49
							333.49	814.12	562.00	474.32
			x	0	0.37	565.00 a	582.97	691.98	565.00	555.17
							603.17	691.81	565.00	556.30
							603.35	679.62	565.00	554.04
							582.88	679.70	565.00	554.00

Terrain Contours

Name	M.	ID	OnlyPts	Height		Coordinates		
				Begin (ft)	End (ft)	x (ft)	y (ft)	z (ft)
						385.02	621.86	553.00
						386.93	641.00	552.00
						407.17	652.21	553.00
						409.90	634.71	553.00
						477.99	634.71	554.00
						479.63	654.67	554.00
						491.93	654.67	554.00
						492.21	635.25	555.00
						550.18	635.25	554.00
						549.91	653.85	554.00
						567.68	653.58	554.00
						576.16	622.95	553.00
						557.56	621.86	554.00
						557.02	555.13	554.00
						557.29	507.28	554.00
						558.59	454.11	553.00
						575.09	453.89	553.00
						575.74	440.21	552.00
						559.24	423.29	551.00
						548.61	421.77	552.00
						425.55	420.25	552.00
						405.36	425.46	552.00
						397.98	442.82	552.00
						389.74	515.53	554.00
						388.70	539.99	554.00
						384.22	617.16	553.00
						660.12	680.85	570.00
						750.84	698.21	569.00
						756.48	630.93	574.00
						752.57	539.34	576.00
						752.57	511.12	572.00
						752.57	457.30	567.00
						717.85	444.27	565.00
						672.27	463.81	568.00
						672.70	517.63	569.00
						653.60	526.31	568.00
						656.21	675.64	570.00
						644.05	364.15	549.00
						754.74	343.31	551.00
						786.87	334.63	552.00
						876.29	303.38	554.00
						898.50	293.34	552.00
						563.49	357.22	548.00
						469.43	357.22	547.00

Name	M.	ID	OnlyPts	Height		Coordinates		
				Begin (ft)	End (ft)	x (ft)	y (ft)	z (ft)
						392.94	352.74	546.00
						365.73	348.95	546.00
						343.33	368.59	546.00
						331.61	441.95	547.00
						317.12	596.18	550.00
						363.11	200.16	543.00
						350.02	273.85	539.00
						449.01	284.24	541.00
						515.19	288.07	543.00
						601.06	291.35	544.00
						649.73	289.17	546.00
						726.30	277.13	549.00
						802.32	254.16	550.00
						874.51	229.01	550.00
						899.67	216.43	551.00
						50.32	227.82	536.00
						79.19	234.83	537.00
						108.45	242.21	538.00
						155.49	251.23	540.00
						191.04	259.16	541.00
						258.85	268.74	543.00
						285.65	259.16	544.00
						296.32	243.30	545.00
						299.32	213.50	545.00
						299.06	201.79	545.00
						49.88	306.43	536.00
						77.52	302.85	537.00
						114.73	311.81	538.00
						157.11	322.84	540.00
						208.79	329.38	541.00
						256.34	335.59	543.00
						276.30	347.07	544.00
						285.05	368.40	545.00
						281.77	411.61	546.00
						273.30	483.01	548.00
						265.10	563.14	549.00
						253.38	648.24	551.00
						242.36	692.00	551.00
						228.96	741.22	551.00
						216.56	784.29	550.00
						51.66	466.34	539.00
						83.68	467.30	542.00
						115.95	486.99	544.00
						143.29	487.54	543.00
						165.17	456.91	543.00
						159.70	433.39	543.00

Name	M.	ID	OnlyPts	Height		Coordinates		
				Begin (ft)	End (ft)	x (ft)	y (ft)	z (ft)
						137.28	419.17	542.00
						107.20	426.28	541.00
						89.70	439.95	540.00
						70.01	440.50	540.00
						51.42	440.63	538.00
						55.35	733.17	546.00
						76.32	745.17	546.00
						108.88	729.98	547.00
						114.95	696.55	546.00
						90.65	673.55	545.00
						53.95	677.72	544.00
						282.76	777.75	550.00
						311.20	753.13	551.00
						313.39	736.18	551.00
						330.89	736.18	551.00
						330.34	716.49	552.00
						301.36	714.30	552.00
						390.46	708.48	554.00
						461.44	707.45	555.00
						462.13	729.50	554.00
						520.70	728.47	556.00
						521.39	707.11	557.00
						466.95	707.11	555.00
						565.52	716.88	559.00
						564.22	778.08	555.00
						665.80	780.25	556.00
						717.46	781.99	558.00
						835.53	779.82	561.00
						884.58	780.69	562.00
						883.71	752.04	565.00
						884.15	711.67	572.00
						841.61	711.67	570.00
						722.23	710.36	565.00
						669.27	709.93	562.00
						612.40	709.50	560.00
						572.47	709.93	558.00
						443.36	746.34	554.00
						419.58	746.00	554.00
						322.84	710.51	553.00
						364.18	710.16	553.00
						366.25	748.41	552.00
						445.52	778.62	552.00
						466.85	767.13	553.00
						527.29	766.86	553.00
						519.36	760.85	554.00
						519.09	738.69	555.00

Name	M.	ID	OnlyPts	Height		Coordinates		
				Begin (ft)	End (ft)	x (ft)	y (ft)	z (ft)
						476.43	740.34	554.00
						206.51	773.88	551.00
						214.43	742.53	551.00
						151.72	730.81	549.00
						144.83	750.45	549.00
						162.06	754.24	549.00
						182.73	779.74	549.00
						193.07	771.81	550.00
						184.11	728.05	549.00
						218.22	735.63	551.00
						228.56	692.22	550.00
						223.73	684.64	550.00
						188.25	697.73	549.00
						181.36	720.47	549.00
						220.73	588.66	550.00
						234.68	628.31	550.00
						242.33	589.21	550.00
						225.10	588.66	550.00
						218.36	673.34	550.00
						198.67	625.21	550.00
						159.84	619.47	549.00
						186.64	592.12	550.00
						148.34	510.28	545.00
						156.81	579.75	549.00
						187.71	578.38	547.00
						231.20	576.46	546.00
						251.43	572.64	546.00
						256.08	522.59	545.00
						235.84	519.86	545.00
						227.09	553.77	545.00
						183.34	554.59	545.00
						167.20	528.06	545.00
						158.45	496.61	543.00
						214.53	485.63	545.00
						254.73	468.41	546.00
						266.48	424.65	546.00
						265.66	395.39	546.00
						241.05	402.77	545.00
						206.05	415.90	545.00
						247.07	414.81	545.00
						250.08	460.20	545.00
						386.89	256.45	543.00
						495.08	267.48	545.00
						580.53	268.17	547.00
						649.44	264.38	548.00
						651.85	238.54	547.00

Name	M.	ID	OnlyPts	Height		Coordinates		
				Begin (ft)	End (ft)	x (ft)	y (ft)	z (ft)
						695.60	232.68	548.00
						721.45	216.14	549.00
						721.10	205.46	549.00
						385.51	203.74	543.00
						366.56	250.60	543.00
						52.71	784.88	547.00
						181.36	784.98	550.00
						215.51	784.55	551.00
						241.98	783.70	550.00
						281.25	783.70	550.00
						445.59	783.27	552.00
						563.47	782.30	555.00
						895.99	780.57	562.00
						896.24	710.34	572.00
						898.41	293.34	552.00
						898.70	255.43	551.00
						899.55	216.59	551.00
						898.14	200.81	552.00
						721.44	201.58	549.00
						385.61	202.93	543.00
						363.20	200.21	543.00
						320.93	201.38	545.00
						299.30	202.10	545.00
						48.40	206.19	536.00
						48.62	227.66	536.00
						48.88	261.79	537.00
						49.52	306.19	536.00
						51.42	440.58	538.00
						51.73	466.20	539.00
						54.70	677.52	544.00
						55.38	733.17	546.00
						55.93	782.72	547.00
Granite Hills Drive		R_1				242.23	786.60	550.00
						262.20	717.14	551.00
						277.83	632.92	551.00
						292.59	537.42	549.00
						303.00	441.05	548.00
						309.95	361.17	546.00
						314.73	312.99	545.00
						317.76	276.96	545.00
						320.97	200.60	545.00
Dehesa Road		R_2				50.32	261.88	537.00
						92.98	273.91	538.00
						170.10	290.86	541.00
						249.40	305.08	543.00
						315.20	312.85	545.00

Name	M.	ID	OnlyPts	Height		Coordinates		
				Begin (ft)	End (ft)	x (ft)	y (ft)	z (ft)
						439.19	322.04	546.00
						577.57	326.03	548.00
						673.83	319.31	548.00
						808.92	289.77	550.00
						900.26	255.31	551.00
						599.02	355.12	547.00
						599.02	397.67	552.00
						616.25	397.67	552.00
						615.73	494.30	554.00
						614.21	585.03	554.00
						613.56	676.18	554.00
						560.82	675.75	554.00
						560.39	693.11	554.00
						500.09	692.01	554.00
						428.45	691.33	554.00
						347.10	691.06	553.00
						347.10	674.51	553.00
						341.36	672.87	552.00
						306.49	672.05	551.00
						312.92	645.80	551.00
						355.85	645.53	552.00
						356.02	631.58	552.00
						339.66	631.49	552.00
						346.22	570.37	553.00
						355.99	474.44	553.00
						362.93	402.39	551.00
						380.51	402.60	552.00
						381.81	382.64	551.00
						461.90	383.50	552.00
						556.96	385.02	551.00
						558.26	402.17	551.00
						572.15	401.95	551.00
						572.15	358.11	548.00

Sound Level Spectra

Name	ID	Type	1/3 Oktave Spectrum (dB)											Source
			Weight.	63	125	250	500	1000	2000	4000	8000	A	lin	
Children - Loud	Voices	Lw (c)			42.1	66.9	75.2	77.8	76.1	69.2	74.1	82.1	82.4	Pearson et al



Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	3
Project Name:	Ventasso Battery Energy Storage System
Request:	Battery Energy Storage System
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	APPROVE
Project Number:	Conditional Use Permit (CUP) No. 2022-0015
Location:	203 North Johnson Avenue
Applicant:	Scott Schwartz, RWE Solar Development, LLC; 415-361-1455; scott.schwartz@rwe.com
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov
City Council Hearing Required?	No
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order, approving the CEQA exemption and CUP No. 2022-0015 subject to conditions.

PROJECT DESCRIPTION

This Conditional Use Permit ("CUP") application proposes a 50-megawatt battery energy storage system at an existing a 5.48-acre industrial site at 203 North Johnson Avenue. Anticipated site improvements include 33 outdoor battery containers and 936 battery racks within existing buildings as well as associated electrical infrastructure, including inverters, transformers and switchgear. The project proposes an underground connection to the nearby San Diego Gas & Electric ("SDG&E") El Cajon substation to support the grid and minimize blackouts and brownouts during peak energy-use periods.

BACKGROUND

General Plan:	Light Industrial (LI)
Specific Plan:	Nos. 462and 531 (Transit District Specific Plan)
Zone:	Manufacturing (M)
Other City Plan(s):	SDP No. 80
Regional and State Plan(s):	None
Notable State Law(s):	None

Project Site & Constraints

The subject parcel is irregularly shaped and totals approximately six (6) gross acres extending from North Johnson Avenue across the drainage channel toward the

residential developments that front on Chambers Street. Excluding the inaccessible area beyond the drainage channel, the site has an approximate net area of 5.48 acres. The site is previously developed and formerly operated as a manufacturing facility for aerospace components, industrial fasteners, and other products. There are six (6) existing primary structures with an approximate gross area of 65,000 square feet, numerous accessory structures, and two large parking areas that bracket the separate parcel and building at 221 North Johnson Avenue.

Surrounding Context

Properties surrounding the site are developed and zoned as follows:

Direction	Zones	Land Uses
North	C-G	Furniture Store (Jerome's)
South	C-G	Charter School (Literacy First)
East (across channel)	RM-2200	Multi-family dwellings
West (across N. Johnson Ave.)	C-M	Utilities

General Plan

The project site is designated Light Industrial ("LI") on the General Plan Land Use Map. The industrial designations in the Land Use Element identify areas set aside for present and future industrial development. Goal 4 of the General Plan states that "Quality industrial areas shall be established and maintained" while Objective 4-3 further specifies that the area of Main Street, Marshall Avenue, and Johnson Avenue be "maintained as the City's secondary industrial area." The proposal is also consistent with the Safety Element of the General Plan, including Policies 3.4 and 4.2 which generally aim to create resilient public facilities and infrastructure. The provision of electrical energy and back up energy storage to meet consumer demand is an important part of ensuring resiliency in the provision of public utilities.

Specific Plans

The subject property is within two applicable Specific Plan ("SP") areas.

SP No. 462 implements Special Development Area ("SDA") No. 10 in the General Plan. SDA No. 10 through SP No. 462 encourages the establishment and expansion of automotive sales uses within the plan area. SP No. 462 permits all by right and conditional uses in accordance with the underlying zone. Therefore uses which are permissible, conditionally or otherwise, in the underlying zone are consistent with SP No. 462.

The site is also partially within the borders of SP No. 531, the Transit District Specific Plan ("TDSP"). The TDSP includes the portion south of the 221 North Johnson Avenue property as an industrial land use consistent with the M zone. The TDSP also outlines design guidelines and modifies development standards for new construction. The aforementioned regulations include a guideline for screened parking and a reduced M zone exterior yard setback of 10 feet.

Zoning/Municipal Code

The subject property is within the M ("Manufacturing") zone, which is consistent with the LI General Plan designation. The M zone is intended for industrial uses characterized by a lack of public contact, a non-retail orientation, limited traffic generation, and no need for advertising or retail signage. Pursuant to the Manufacturing Zone Land Use Table in section 17.150.170 of the El Cajon Municipal Code ("ECMC"), utility land uses require a Conditional Use Permit. The CUP is intended to ensure compliance with applicable development standards, use restrictions, and compatibility with surrounding properties and land uses.

DISCUSSION

Proposed Project

The proposed battery energy storage system is anticipated to consist of indoor battery racks as well as 33 outdoor battery containers which are approximately 29 feet long, seven (7) feet wide, and 9.5 feet tall. The battery storage containers would be located on the former parking lot at the north end of the site and would maintain a minimum 20 foot setback from all property lines. The main switchgear and transformer, which feed the connection to the SDG&E substation along West Main Street, are located near the center of the site along North Johnson Avenue, while inverters are interspersed throughout the site near existing buildings. Both the main transformer and inverters have an approximate maximum height of 20 feet and observe minimum 10 foot front setbacks as required by the TDSP.

Other alterations include the demolition of a small building near the southwest corner of the site to accommodate proposed inverters. Similarly, landscape areas are proposed to replace existing hardscape areas within front yard setbacks along North Johnson Avenue, including the parking lot immediately in front of the building addressed as 203 North Johnson Avenue. Four (4) replacement off-street parking stalls are proposed near the center of the site and would be screened from public view. The site plan also includes a seven (7) foot masonry wall at the setback between Johnson Avenue and the main transformer, but the site is otherwise surrounded by security fencing. Accessory equipment such as heating, ventilation, and air conditioning ("HVAC") units, and internal fire suppression systems for all batteries are also incorporated into the proposal. Noise generated would be minimal and similar to the noise generated by a commercial HVAC system.

The proposed battery energy storage system will be integrated with the grid by an underground 69 kV transmission line connected to the SDG&E El Cajon substation at 904 West Main Street. This underground connection will be installed via trenching and cross North Johnson Avenue from the project transformer then turn 90 degrees toward West Main Street and, finally, turn 90 degrees to run west on West Main Street to the SDG&E substation.

During normal operations, the battery energy storage system will be operated remotely with “24/7” real time monitoring. A four (4) person crew would be required to make regular maintenance visits every two (2) to three (3) months to facilitate regular operations. The facility is expected have a 34-year useful life.

Land Use

The proposed battery storage is consistent with the aforementioned General Plan goals and policies and will complement the existing utility land uses along North Johnson Avenue and West Main Street by providing support to the SDG&E grid. Battery charging would occur during high-supply/low-demand hours, with discharge back into the SDG&E grid as needed to address energy demands. Further, all electrical infrastructure adjacent to the charter school would be contained within the enclosed buildings with appropriate fire protection systems to ensure safety and compatibility.

Screening and Landscaping

As previously discussed, the project proposes a (seven) 7 foot-tall masonry screening wall along the portion of the frontage immediately adjacent to the main transformer. The balance of the site fencing is identified as security fencing consistent with existing conditions. The proposed conditions of approval require the replacement of the security fencing with a (seven) 7 foot-tall masonry screening wall along N. Johnson Ave. and adjacent to the school playground along the southerly property line. The masonry wall along N. Johnson Ave. is recommended in order to achieve a uniform appearance from the public street and to further screen the proposed battery containers. Additionally, staff is recommending that the gated driveways be solid opaque gates that complement the masonry wall. The Planning Commission may wish to determine if the proposed screening is sufficient or if additional screening methods are required.

ECMC section 17.195.100 requires landscaping be provided along the entire North Johnson Avenue frontage (exterior yard) exclusive of driveways. The proposed site plan, however, omits landscaping in the setback area in front of the main transformer. A condition of approval is proposed requiring this area to be landscaped consistent with the requirements of the Water Efficient Landscape ordinance. Landscaping along N. Johnson Ave. will complement the proposed masonry screening wall and provide additional screening above the wall height as the landscaping matures.

Parking

Parking standards for utility uses are not defined in the M zone parking requirements in ECMC section 17.185.220. The aforementioned section provides that unlisted uses are as determined by the Director. The site plan proposes four off-street parking stalls which is sufficient given that the site is regularly unmanned during normal operations with the exception of periodic maintenance visits by a four (4) person maintenance crew.

FINDINGS

The Commission shall approve issuance of the permit upon meeting the CUP findings listed in ECMC section 17.50.060. If the Commission can make all findings, it must approve the issuance of the CUP. The findings for CUP approval are as follows:

- A. *The proposed project is consistent with applicable goals, policies, and programs of the General Plan and with any applicable specific plan.*

The proposed screened battery storage facility will assist with the growing demand for electrical energy backup storage that can feed stored energy back to the grid to balance energy demand or in case of an emergency blackout or environmental conditions such as extreme heat, thereby meeting the goals as established by the General Plan. Goal 16 of the General Plan specifies that "El Cajon shall take positive steps to minimize risks to life and property resulting from disasters." The proposal is further consistent with Policies 3.4 and 4.2 of the General Plan Safety Element which generally aim to create resilient public facilities and infrastructure. The requirements of Specific Plan Nos. 462 and 531 are also observed as the use is conditionally permitted consistent with SP No. 462, and the proposal observes SP No. 531 development standards and guidelines.

- B. *The proposed site plan and building design are consistent with all applicable use and development standards.*

The proposed battery storage, as conditioned, adheres to the development standards of the M zone and Transit District Specific Plan, including screening and landscape requirements.

- C. *The proposed project will be operated in a manner that is compatible with existing and planned land uses in the vicinity of the proposed use.*

The proposed battery storage would operate with low noise levels and be remotely monitored 24 hours a day, 7 days a week for quick emergency response. Since the use is unmanned, it would operate without disturbance to existing nearby uses, including the charter school to the adjacent south. Conditions of approval are proposed to ensure the battery storage continues to operate in a manner that is compatible with existing and planned land uses.

- D. *The proposed project will not be detrimental to the public health, safety, and general welfare, including but not limited to matters of noise, smoke, dust, fumes, vibration, odors, and hazards or excessive concentrations of traffic.*

The proposed battery storage will be held to the standard building, engineering, and planning conditions of development and will be further subject to the City's Performance Standards which regulate noise, air quality, and hazards, among others. As a standard, the Planning Commission may revoke or modify the permit subject to

Chapter 17.25 and in accordance with Chapter 17.35 of the El Cajon Municipal Code if the battery storage becomes detrimental to public health, safety and general welfare.

E. *The proposed use is in the best interest of public convenience and necessity.*

The proposed project replaces an existing manufacturing use with an unmanned battery energy storage facility that includes improvements to the street and building frontage. This use is therefore in the best interest of the public convenience and necessity since the battery storage improves an industrial property and will decrease the likelihood of a local power outage by providing frequency stability to the SDG&E system and will deliver power in the event of a blackout. Reliable electrical service is essential for residents and businesses within El Cajon.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The proposed project for the addition of battery storage is exempt from the provisions of the California Environmental Quality Act ("CEQA") according to section 15303 of the CEQA Guidelines. Section 15303 provides an exemption for construction and location of limited numbers of new, small facilities or structures, or installation of small new equipment and facilities in small structures. The project proposes to authorize an outdoor battery storage area with screening fencing at an existing industrial development within an urban area. Therefore, section 15303 is an appropriate exemption for the proposed project. None of the exemptions listed under CEQA Guidelines section 15300.2 exist.

PUBLIC NOTICE & INPUT

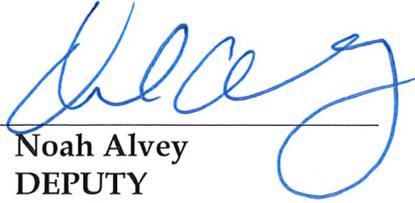
Notice of this public hearing was mailed on January 5, 2023, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with Government Code sections 65090, 65091, and 65092, as applicable. Additionally, as a public service, the notice was posted in the kiosk at City Hall and on the City's website. No comments were received in response to the public hearing notice.

RECOMMENDATION

Staff is recommending approval of Conditional Use Permit No. 2022-0015. The proposed battery storage facilitates the improvement of an existing industrial property and will help meet the growing demand for electrical energy in El Cajon.

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PREPARED BY:



Noah Alvey
DEPUTY
DIRECTOR OF
COMMUNITY
DEVELOPMENT

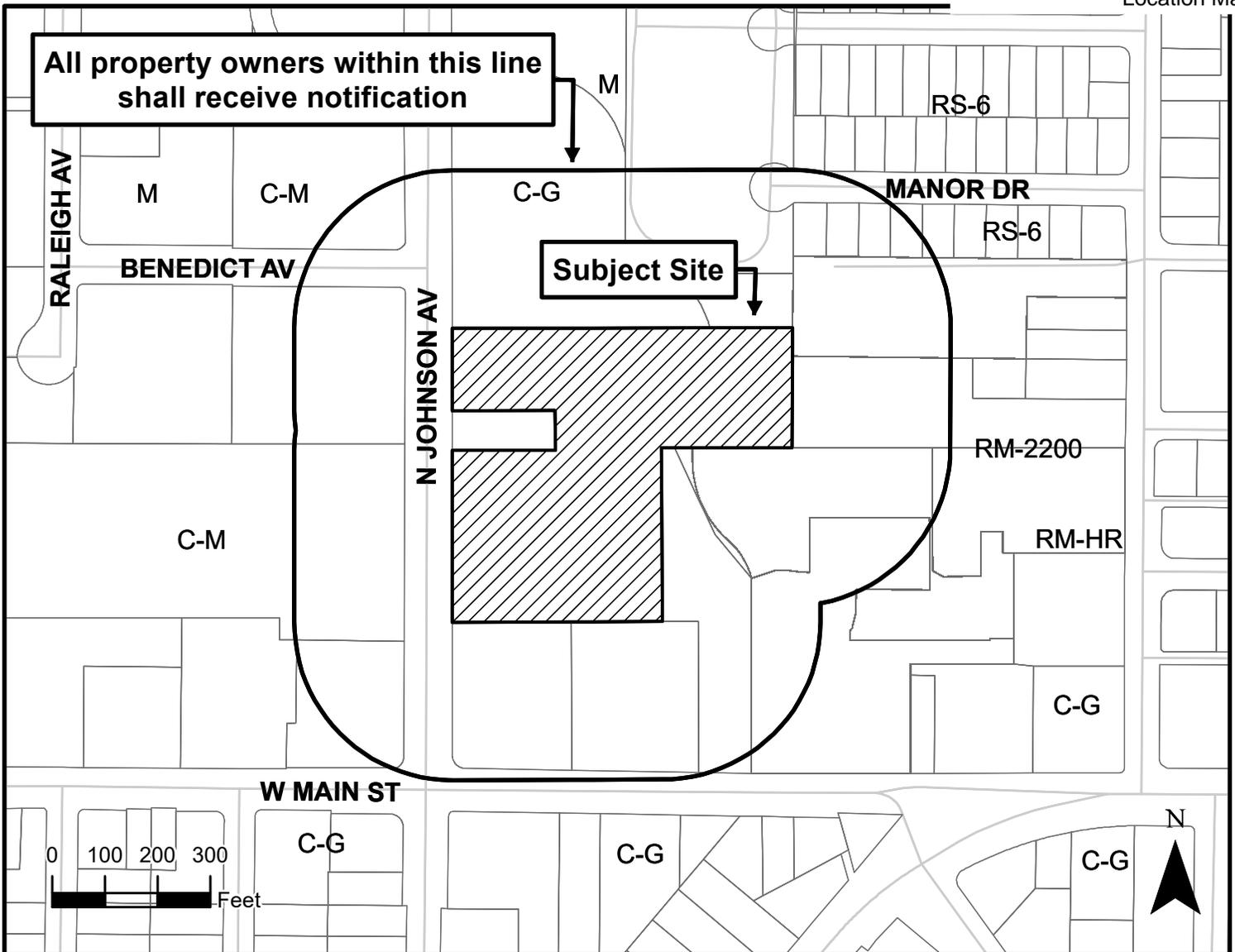
APPROVED BY:



Anthony Shute
DIRECTOR OF
COMMUNITY
DEVELOPMENT

ATTACHMENTS

1. Public Hearing Notice/Location Map
2. Proposed Resolution APPROVING CEQA exemption
3. Proposed Resolution APPROVING CUP No. 2022-0015
4. Aerial Photograph of Subject Site
5. Application & Disclosure Statement
6. Site Photos
7. Project Description
8. Site Plan
9. Landscape Concept Plan
10. Elevations



**NOTICE OF PROPOSED
CONDITIONAL USE PERMIT
NORTH JOHNSON ENERGY STORAGE FACILITY**

NOTICE IS HEREBY GIVEN that the El Cajon Planning Commission will hold a public hearing at **7:00 p.m., Tuesday, January 17, 2023** in the City Council Chambers, 200 Civic Center Way, El Cajon, CA, to consider:

CONDITIONAL USE PERMIT (CUP) NO. 2022-0015, as submitted by Shruti Ramaker of Stantec Consulting Services Inc. on behalf of RWE Solar Development LLC, requesting installation of a 50-megawatt battery energy storage system. The subject property is located on the east side of North Johnson Avenue between West Main Street and Benedict Avenue and is addressed as 203 North Johnson Avenue, APN 487-122-39-00. This project is exempt from the California Environmental Quality Act (CEQA).

The public is invited to attend and participate in this public hearing. The agenda report for this project will be available 72 hours prior to the Planning Commission meeting at <https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all>. In an effort to reduce the City's carbon footprint, paper copies will not be provided at the public hearing, but will be available at City Hall in the Project Assistance Center upon request.

If you challenge the matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Commission, or prior to, the public hearing. The City of El Cajon encourages the participation of disabled individuals in the services, activities, and programs provided by the City. Individuals with disabilities who require reasonable accommodation in order to participate in the public hearing should contact Planning at 619-441-1742. More information about planning and zoning in El Cajon is available at <http://www.elcajon.gov/your-government/departments/community-development/planning-division>.

If you have any questions, or wish any additional information, please contact **MIKE VIGLIONE** at 619-441-1773 or via email at mviglione@elcajon.gov and reference "CUP-2022-0015" in the subject line.

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) EXEMPTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) FOR BATTERY ENERGY STORAGE FACILITY AT AN EXISTING INDUSTRIAL SITE IN THE M (MANUFACTURING) ZONE, APN 487-122-39, GENERAL PLAN DESIGNATION: LIGHT INDUSTRIAL (LI).

WHEREAS, the El Cajon Planning Commission held a duly advertised public hearing on January 17, 2023, to consider Conditional Use Permit No. 2022-0015 as submitted by Stantec Consulting Services Inc. on behalf of RWE Solar Development, LLC requesting a battery energy storage facility at 203 North Johnson Avenue on the east side of North Johnson Avenue between West Main Street and Benedict Avenue; and

WHEREAS, in accordance with the California Environmental Quality Act ("CEQA") Guidelines section 15061(b)(2), the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, the CEQA Section 15303 provides an exemption for construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures and utility extensions; and

WHEREAS, the project proposes to authorize thirty-three self-contained battery storage containers, interior battery racks, electrical infrastructure, landscaping and screening at an existing industrial development within an urban area; and

WHEREAS, no evidence was presented in proceedings that any of the conditions exist to provide exceptions to categorical exemptions as described in CEQA Guidelines section 15300.2, exist; and

WHEREAS, section 15303 is an appropriate exemption for the proposed project and the record of proceedings contains evidence to support the determination that the Class 3 Categorical Exemption applies; and

WHEREAS, after considering evidence and facts, the Planning Commission did consider the proposed CEQA exemption as presented at its meeting; and

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Proposed Planning Commission Resolution

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to the proposed exemption for the battery storage facility at an existing site.

Section 2. That based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES the proposed CEQA exemption for the battery storage facility.

[REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK]

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held January 17, 2023, by the following vote:

AYES:
NOES:
ABSTAIN:

Darrin Mroz, Chair

ATTEST:

Noah ALVEY, Secretary

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CONDITIONAL USE PERMIT NO. 2022-0015 FOR A BATTERY ENERGY STORAGE FACILITY AT AN EXISTING INDUSTRIAL SITE IN THE M (MANUFACTURING) ZONE, APN 487-122-39, GENERAL PLAN DESIGNATION: LIGHT INDUSTRIAL (LI).

WHEREAS, the El Cajon Planning Commission held a duly advertised public hearing on January 17, 2023, to consider Conditional Use Permit ("CUP") No. 2022-0015 as submitted by Stantec Consulting Services Inc. on behalf of RWE Solar Development, LLC requesting a battery energy storage facility consisting of thirty-three self-contained battery storage containers, interior battery racks, electrical infrastructure, landscaping and screening at an existing industrial development at 203 North Johnson Avenue on the east side of North Johnson Avenue between West Main Street and Benedict Avenue; and

WHEREAS, at the public hearing the Planning Commission received evidence through public testimony and comment in the form of verbal and written communications, and reports prepared and presented to the Planning Commission, including (but not limited to) evidence such as the following:

- A. The proposed screened battery storage facility will assist with the growing demand for electrical energy backup storage that can feed stored energy back to the grid to balance energy demand or in case of an emergency blackout or environmental conditions such as extreme heat, thereby meeting the goals as established by the General Plan. Goal 16 of the General Plan specifies that "El Cajon shall take positive steps to minimize risks to life and property resulting from disasters." The proposal is further consistent with Policies 3.4 and 4.2 of the General Plan Safety Element which generally aim to create resilient public facilities and infrastructure. The requirements of Specific Plan ("SP") Nos. 462 and 531 are also observed as the use is conditionally permitted consistent with SP No. 462, and the proposal observes SP No. 531 development standards and guidelines.
- B. The proposed battery storage, as conditioned, adheres to the development standards of the Manufacturing ("M") zone and Transit District Specific Plan, including screening and landscape requirements.
- C. The proposed battery storage would operate with low noise levels and be remotely monitored 24 hours a day, 7 days a week for quick emergency response. Since the use is unmanned, it would operate without disturbance to existing nearby uses, including the charter school to the adjacent south. Conditions of approval are proposed to ensure the battery storage continues to operate in a manner that is compatible with existing and planned land uses.

- D. The proposed battery storage will be held to the standard building, engineering, and planning conditions of development and will be further subject to the City's Performance Standards which regulate noise, air quality, and hazards, among others. As a standard, the Planning Commission may revoke or modify the permit subject to Chapter 17.25 and in accordance with Chapter 17.35 of the El Cajon Municipal Code ("ECMC") if the battery storage becomes detrimental to public health, safety and general welfare.
- E. The proposed project replaces an existing manufacturing use with an unmanned battery energy storage facility that includes improvements to the street and building frontage. This use is therefore in the best interest of the public convenience and necessity since the battery storage improves an industrial property and will decrease the likelihood of a local power outage by providing frequency stability to the San Diego Gas & Electric ("SDG&E") system and will deliver power in the event of a blackout. Reliable electrical service is essential for residents and businesses within El Cajon.

NOW, THEREFORE, BE IT RESOLVED that, based upon said findings, the El Cajon Planning Commission hereby APPROVES Conditional Use Permit No. 2022-0015 to allow the proposed battery energy storage facility consisting of thirty-three self-contained battery storage containers, interior battery racks, electrical infrastructure, landscaping and screening at an existing industrial development on the above described property subject to the following conditions:

Planning

- 1. Prior to the issuance of building permits, or as otherwise determined by the Director of Community Development, the applicant shall submit and obtain approval of a one-page, 24" by 36" digital site plan for Conditional Use Permit No. 2022-0015 that includes the following specific notes and changes:
 - A. Include the following note: "This project shall comply with the Standard Conditions of Development from Planning Commission Resolution No. 10649, as applicable."
 - B. Include the El Cajon Title Block as shown in the "Additional Requirements for Planning Permits".
 - C. Include Condition Planning Condition No. 2A as a note.
 - D. Show all exterior yards, exclusive of driveways, as landscape areas.
 - E. The site plan shall reflect the applicable comments and include all of the required notes from the Engineering comments contained in Condition No. 5.

Proposed Planning Commission Resolution

- F. Replace the proposed security fencing with a (seven) 7 foot-tall masonry screening wall along N. Johnson Ave. and adjacent to the school play area along the southerly property line. Additionally, the gated driveways shall be solid opaque gates. The final design of the masonry wall and gates shall complement the overall design of the project and be subject to approval by the Community Development Director.
2. Prior to the issuance of building permits, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
 - A. Comply with the Engineering comments to the satisfaction of the City Engineer and the Director of Community Development.
 - B. Submit and receive approval of a Landscape Documentation Package pursuant to the requirements of El Cajon Municipal Code, Chapter 17.195. All exterior yard areas, exclusive of driveways, shall be landscaped. The LDP plans shall be consistent with the approved site plan and concept landscape plan.
 3. Prior to building permit final, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
 - A. Satisfy all requirements of the Building and Engineering conditions contained in this resolution of approval.
 - B. All landscaping and irrigation will be installed and a Certificate of Completion shall be provided to Planning.
 - C. All site improvements will be completed prior to building permit final.
 4. The following shall be ongoing conditions of this Conditional Use Permit:
 - A. This approval is for a 50-megawatt battery energy storage system and associated equipment within the areas shown in the Site Plan.
 - B. No portion of any existing building shall be available to operate independently due to the removal of existing required parking.
 - C. Each battery cabinet and all associated equipment shall be properly maintained and monitored.
 - D. Each battery cabinet and associated equipment shall remain screened from public view.
 - E. The exterior landscaping shall be maintained as part of the required screening for this facility. Any damaged or dead plant material shall be replaced in kind.
 - F. The “No Dumping” signs shall be maintained in a legible condition and replaced as necessary.

- G. The subject property includes unimproved land area bifurcated by the County Ditch Creek drainage channel. This area shall be properly secured, and routinely weeded and policed for trash and litter.

Engineering and Storm Water

- 5. Add the following note to the CUP Site Plan:

“All operations shall comply with the City’s Jurisdictional Runoff Management Program ("JRMP") and the City’s Storm Water Ordinance (ECMC Chapters 13.10 and 16.60)”.

- 6. Prior to the issuance of project building permits the applicant shall complete the following:

- A. Prepare a detailed scaled drawing with dimensions of the proposed driveway and sidewalk installation showing the location of the public street right-of-way, property lines, face of curb, all physical obstructions for review and approval by the El Cajon Public Works Department. Additional details to the satisfaction of the City Engineer must be provided regarding the electrical point-of-connection across North Johnson Avenue and may result in additional requirements. Encroachment permits shall be required prior to commencing any work in the right-of-way. Improvement Plans must reflect:

- i. Replacement of all unused existing driveways with full height curb and gutter and sidewalk in accordance with City of El Cajon standards.
- ii. Driveways to comply with the Americans with Disabilities Act ("ADA") and San Diego Regional Standard Drawing G-26.
- iii. Installation of up to three streetlights in accordance with the Standard Specifications, FS-303, and the "General Requirements for Street Lighting Services" of the City of El Cajon.
- iv. New underground utility services be stubbed out at the property line.

- 7. The proposed project shall comply with the JRMP and the City’s Storm Water Ordinance in ECMC Chapters 13.10 and 16.60, respectively. Storm Water Intake Forms submitted with the application indicate the project is a Standard Development Project subject to the requirements identified below. Please be advised however that an increase in impervious area associated with the project may result in additional requirements.

- A. Standard Development Projects shall complete Forms I-1, I-2, I-4 and I-5 and implement applicable Best Management Practices ("BMP") including site design and source control BMPs. All applicable storm water BMP features shall be shown in plans submitted with construction permit applications and the Landscape Documentation Package. “No Dumping” signage along the

Proposed Planning Commission Resolution

eastern fence extending along the open channel shall also be reflected in construction permit applications and shall be installed prior to final. A template for fence signage can be provided by the City upon request.

- B. Prepare an Erosion Control Plan ECP in compliance with the City's 2015 JRMP for review and approval. The ECP shall be included in plans submitted with construction permit applications.

Building Safety

8. Construction permit applications and plans shall be required pursuant to all governing codes, statutes, and ordinances in effect at such time prior to commencement of any use authorized by this Conditional Use Permit.
9. Comply with currently adopted edition of the California Building Code, California Fire Code, California Mechanical Code, California Plumbing Code, California Electrical Code, and Green Building Standard Code.

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Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held January 17, 2023, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary

203 North Johnson Ave. Site Aerial



North Johnson Avenue



Project Assistance Center
PLANNING PERMIT APPLICATION

Type of Planning Permit(s) Requested:

<input type="checkbox"/> AZP Administrative Zoning Permit	<input checked="" type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> LLA Lot Line Adjustment	<input type="checkbox"/> MA Minor Amendment
<input type="checkbox"/> MUP Minor Use Permit	<input type="checkbox"/> PRD Planned Residential Development	<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SDP Site Development Plan Permit
<input type="checkbox"/> SP Specific Plan	<input type="checkbox"/> SCR Substantial Conformance Review	<input type="checkbox"/> TPM Tentative Parcel Map	<input type="checkbox"/> TSM Tentative Subdivision Map
<input type="checkbox"/> VAR Variance	<input type="checkbox"/> ZR Zone Reclassification	<input type="checkbox"/> Other: _____	

Project Location

Parcel Number (APN): 4871223900

Address: 203 North Johnson Avenue, El Cajon, CA, 92020

Nearest Intersection: Northeast of intersection of North Johnson and West Main Street.

Project Description (or attach separate narrative)

Refer to attached Project Description.

Project Screening Questions

- | | | |
|------------------------------|--|---|
| Existing use? | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Yes |
| Modification of use? | <input type="checkbox"/> No | <input checked="" type="checkbox"/> Yes |
| New development or addition? | <input type="checkbox"/> No | <input checked="" type="checkbox"/> Yes |
| Existing Structures? | <input type="checkbox"/> No | <input checked="" type="checkbox"/> Yes |

If yes, please describe:

Convert into a Battery Energy Storage System

A transformer and switchgear/closure enclosure would be installed in a gravel yard.

Age of the structures: 74 years

Demolition or substantial modification proposed to site improvements or structures?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	Construct a battery and racking system in the interior of each existing building. _____
Tenant improvements proposed?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	N/A
Existing vegetation or trees on site proposed for removal?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	N/A
Proposed grading?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	Proposed quantities of cut and/or fill. N/A

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name: RWE Solar Development, LLC

Contact Name: Scott Schwartz

Mailing Address: 20 California Street Floor 5, San Francisco, CA 94111

Phone: (415) 361-1455 Email: scott.schwartz@rwe.com

Interest in Property: Own Lease Option

Project Representative Information (if different than applicant; consultant information here)

Company Name: Stantec Consulting Services Inc.

Contact Name: Shruti Ramaker License: _____

Mailing Address: 201 E. Carrillo St., Suite 101, Santa Barbara, CA, 93101

Phone: (805) 570-5566 Email: shruti.ramaker@stantec.com

Property Owner Information (if different than applicant)

Company Name: 400 Ebbetts Pass Road, LLC

Contact Name: Carson Faris

Mailing Address: 1865 Newport Blvd, Suite A109-324, Costa Mesa, CA 92627

Phone: 949-381-7601 Email: cfaris@westernbay.com

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: _____ Date of List: _____

Authorization

Applicant Signature¹:



Date: 07/19/22

Property Owner
Signature²:



Date: 7/18/22

1. **Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
2. **Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

Pre-application Conference

The purpose of a pre-application conference is to provide you an opportunity to review your project with City staff in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. **A pre-application is required unless waived by staff.**

Conference date: N/A

Application Submittal

To submit your application, **it must be done by appointment** scheduled in advance for all Level 3, 4, & 5 project reviews, unless waived by staff. It is recommended for projects that will subsequently meet the criteria for a Level 1-C review through Level 2.

Appointment date: _____



Disclosure Statement

This statement is intended to identify and avoid potential conflicts of interest that may exist between the project proponents and the decision makers; including City staff, Planning Commissioners, and City Council members.

The following information must be disclosed:

1. List the names and addresses of all persons having a financial interest in the application.

RWE Solar Development, LLC

20 California Street Floor 5, San Francisco, CA 94111

List the names and address of all persons having any ownership interest in the property involved.

400 Ebbetts Pass Road, LLC

1835 Newport Blvd, Suite A109-324, Costa Mesa, CA 92627

2. If any person identified pursuant to (1) above is a corporation or partnership, list the names and addresses of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

Carson Faris

2465 Campus Drive, Third Floor, Irvine CA 92612

3. If any person identified pursuant to (1) above is a trust, list the name and address of any person serving as trustee or beneficiary or trustor of the trust.

4. Have you or your agents transacted more than \$500.00 worth of business with any member of City staff, Boards, Commissions, Committees and Council within the past 12 months or \$1,000.00 with the spouse of any such person? Yes _____ No X

If yes, please indicate person(s), dates, and amounts of such transactions or gifts.

“Person” is defined as “Any individual, proprietorship, firm, partnership, joint venture, syndicate, business trust, company, corporation, association, committee, and any other organization or group of persons acting in concert.” Gov’t Code §82047.

Schwartz Scott

 Digitally signed by Schwartz Scott
Date: 2022.07.19 10:55:02 -04'00'

Signature of applicant / date

Scott I. Schwartz, RWE Solar Development, LLC

Print or type name of applicant

NOTE: Attach appropriate names on additional pages as necessary.

Photographs of the Property and Vicinity
Site Name: **Ventasso BESS Storage Site, El Cajon, CA 92020**
Photographer: **Carson Faris**
Date: **July 19, 2021**



Photo #1 View inside one of the existing warehouse buildings on the Property.



Photo #2 View of the Property looking northeast at existing warehouse buildings on site.



Photo #3 View facing the northwest corner of the Property.



Photo #4 View of existing electric infrastructure in an existing building on the Property



Photo #5 View of the Property looking west at an industrial yard.



Photo #6 View inside one of the existing warehouse buildings on the Property.



Photo #7 View of the Property looking southwest at existing industrial infrastructure.



Stantec Consulting Services Inc.
201 E. Carrillo Street, Suite 101, Santa Barbara CA 93101-2018

November 9, 2022

Attention: El Cajon Community Development
200 Civic Center Way
El Cajon, California 92020

**Reference: Ventasso Battery Energy Storage System Project, El Cajon, California, APN:
4871223900**

PROJECT DESCRIPTION

RWE Solar Development, LLC (RWE) proposes to develop the Ventasso Battery Energy Storage System (BESS) Project on an approximately 5.48-acre parcel located at 203 North Johnson Avenue in the City of El Cajon, California, 92020. The Project site is located on one privately owned and developed parcel (APN 4871223900) containing existing building and parking areas. The existing buildings are currently occupied by an aerospace manufacturer. The Project includes the development of a 50-megawatt (MW) BESS system. The Project proposes to interconnect to a substation via a new power line that would cross under North Johnson Avenue going west and then run south along North Johnson Avenue and west along Main Street to the existing San Diego Gas & Electric (SDG&E) El Cajon substation, located approximately 340 feet southwest of the Project parcel on West Main Street. The Ventasso BESS project would utilize existing buildings on site and outdoor battery cabinets in the north parking lot area. Construction is planned to begin mid-to-late 2023, with operations beginning mid-to-late 2024.

Land Use and Zoning

The Project site is located near the intersection of West Main Street and North Johnson Avenue within El Cajon, California. The Project site boundary runs along West Main Street on the west. Surrounding land uses and zoning are summarized in Table 1 below. The Project site is zoned as Manufacturing (M) in the City of El Cajon's Zoning Ordinance, subject to standards (El Cajon 2021a).

Table 1. Surrounding Zoning and Land Uses

Direction/ Parcel	General Plan Land Use	Zoning	Description
West 4871219100	Transportation, Communication, Utilities	Heavy Commercial – Light Manufacturing	Manufacturing business
East 4871224000	Mixed Use	General Commercial (C-G)	Concrete-lined tributary
South 4871224800	Mixed Use	C-G	Charter school
North 4871225500	Heavy and Light Industry	C-G	Mattress store

Project Components

The Project would likely consist of an array of indoor battery storage racks and outdoor battery storage containers. Both indoor and outdoor battery systems will include a Battery Protection Unit, battery modules, and fire suppression systems. Outside of the buildings, an array of Medium Voltage Power Stations, each

containing an inverter and a Generation Step-Up Transformer (GSU) would collect and invert the supply from the battery racks and battery containers. The site layout included in this application provides the cabinet layout option for outdoor battery containers; however, this may change as the Project design progresses.

BESS Facility

The Ventasso BESS project would utilize existing buildings on site as well as outdoor battery containers and associated equipment in the north parking lot area in accordance with the City's aesthetic/ landscaping standards. In addition to indoor battery racks and outdoor battery containers, the Medium Voltage Power Substation would be in a parking lot outside of public view. The Ventasso BESS project would utilize existing buildings on site and would include interior renovations within each building. Racks of batteries would occupy most of the interior square footage of the existing warehouse buildings on site. Outside of the buildings, supporting equipment, including a transformer and switchgear/closure enclosures, would be installed, as well as outdoor battery containers. The substation and exterior substation equipment, excluding the Medium Voltage Power Stations, are proposed to be installed in a gravel yard or pavement screened from public view. The Medium Voltage Power Substations will be installed on pavement. The Project would store and deliver electricity to the grid through a fully-executed Large Generator Interconnection Agreement (LGIA) with SDG&E. RWE would lease the land it currently has under a long-term option, then build and commission the Project.

Interconnect to the Existing SDG&E Substation

As noted above, the Project proposes to interconnect to a substation via a new power line that would cross under North Johnson Avenue to the existing SDG&E El Cajon substation. The interconnect will cross North Johnson Avenue perpendicularly from the Project substation from east to west (near the curb), then turn 90 degrees and run south to West Main Street, turning 90 degrees to run west on West Main Street to the Point of Change of Ownership. The Point of Change of Ownership has been defined by SDG& E as the sidewalk outside of a gate into SDG&E's existing El Cajon Substation.

RWE will construct the interconnect into the SDG&E El Cajon Substation. The interconnection will be constructed underground and will be based on 3-phase conductors that have been rated 69kV. The interconnect will be on a conduit lowered into a trench. The trench will then be covered with soil and the pavement would be repaired to match the street surface (North Johnson Avenue). The size of the conductors and conduit, depth of the conduit trench, and other engineering details will be further defined in RWE's encroachment and/or construction permit packages.

Major equipment or Project components would include:

- Indoor battery modules assembled in racks monitored by a Battery Management System (BMS)
- Outdoor battery containers monitored by a Battery Management System (BMS)
- Outdoor water injection systems for battery fire control
- Outdoor collector DC collector boxes
- Bi-directional power inverters
- Battery chiller units
- Control enclosure
- Fire detection/ suppression systems
- Gas detection

- High Voltage circuit breaker
- High Voltage transformer
- electrical switching equipment and auxiliary power panels
- Computer and telecommunications equipment
- Transformers
- Switchgear
- Security lighting and signage
- Perimeter wall or fence

Project components are summarized in Table 3.

Table 3. Project Components Summary

Project Component	Approx. Dimensions (each)
Outdoor Battery Containers	28'7" L x 6'8" W x 9'6" H
Outdoor Battery Water System	4'3" L x 4'3" W 6'9" H
Outdoor DC Combiner Box	3'9" L x 7'7" W x 7'4" H
Indoor Battery Rack	3'11" L x 3'4" W x 5'8" H
Inverter/GSU Container	9'6" L x 8' W x 19'10" H
Transformer	20' L x 30' W x 20' H
Project Substation	175' L x 80' W
Overall Facility Area	221,260sqft

The proposed BESS facility would be remotely operated during normal operation. On-site utilities would provide the limited water required during the construction phase. Minimal water use is required during operations. However, water would be required for fire suppression, which would be supplied by the Helix Water District. No wastewater would be generated during Project operations and therefore no wastewater services would be required. Police and fire services would be provided by the City of El Cajon Police Department and Heartland Fire and Rescue.

Project access would be provided via roadways along existing North Johnson Avenue. No new roads will be required to provide access to the Project site. As such, no changes to the road network or traffic would be required.

Project Operations

The operational workforce would entail RWE-contracted maintenance staff who would maintain the facility on a periodic basis over the Project life. The Project would likely require a four-person crew for maintenance visits once every two to three months, on average. The crew would normally consist of one operator, one contracted field engineer, and two mechanical or electrical technicians. The Project would be primarily operated remotely. All RWE North American assets are monitored from the Renewables Operations Center (ROC) located in Austin, Texas. The ROC is manned 24/7 by a Generation Dispatch and Remote Operations team.

Planned maintenance would typically be developed and scheduled a few months in advance. Typical maintenance intervals for major Project components would include:

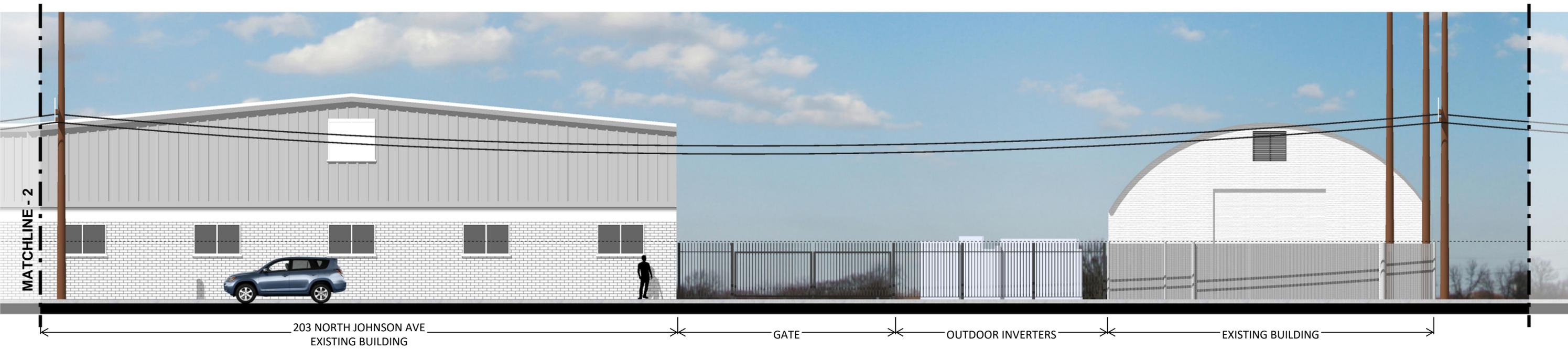
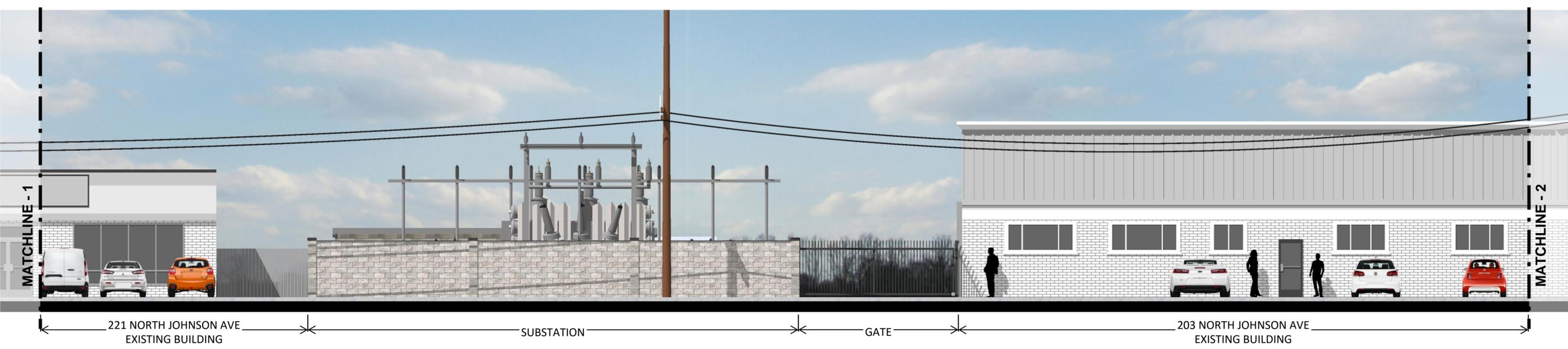
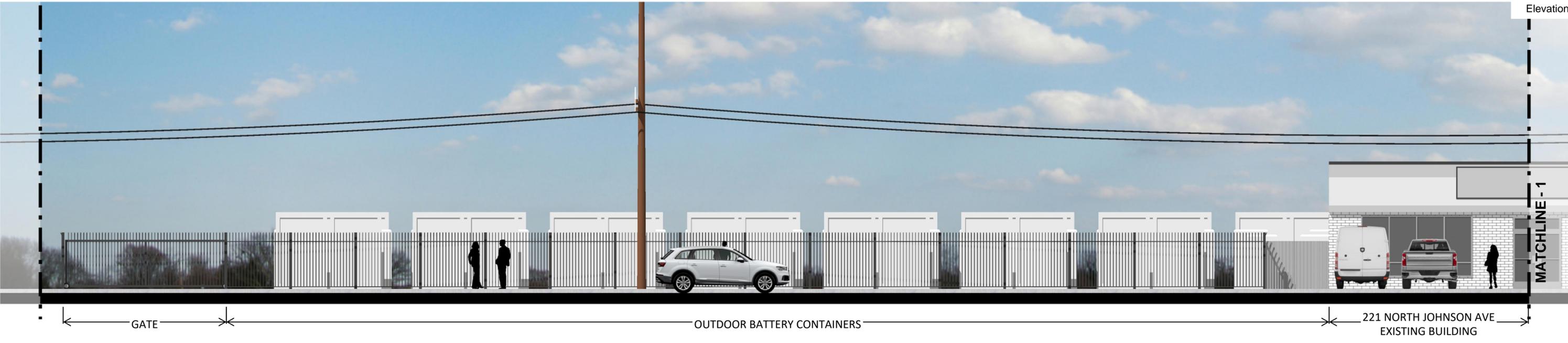
- Fire protection system – twice a year



- HVAC and chiller units – twice a year
- Battery core – once a year
- PCS/Inverter Skids – once a year for both PCS and Medium Voltage Equipment
- Relay protection – once a year
- Project performance testing – once a year
- Project HV substation – once a year

The Project would be designed with multiple automatic and manual power-down/safety mechanisms including active fire suppression systems built into each indoor area containing battery racks and each outdoor container. Electrical and fire systems would be designed to open breakers automatically during fault conditions. Each fire protection system would have a signal that would trigger core power-down during fire, electrical fire, overheating, etc. The entire Project power-down would occur automatically during electrical fault conditions (e.g., high-voltage, high-frequency, ground fault etc.). In addition, the Project would be equipped with breakers that could be opened manually to power-down different equipment or the Project as a whole.

The Project would be designed to be in operation for up to 34 years. After completion of 34 years, most of the Project's electrical equipment (breakers, transformers, inverters) would be removed and recycled. Project batteries would be returned to the battery manufacturer for recycling. Equipment foundations and pads would be demolished and removed.





City of El Cajon

Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	4
Project Name:	East County Crematorium
Request:	Crematorium
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	DENY
Project Number(s):	Conditional Use Permit (CUP) No. 2022-0005
Location:	1034 North Magnolia Avenue
Applicant:	East County Mortuary, Inc. (Robert Zakar); robertzakar@yahoo.com ; 619.654.7532
Project Planner:	Noah Alvey, nalvey@elcajon.gov , 619.441.1795
City Council Hearing Required?	No
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolution in order DENYING CUP No. 2205-0005.

PROJECT DESCRIPTION

The project proposes to expand an existing building at 1034 N. Magnolia Ave. and to perform cremation services and funerals within the expanded building, which will include areas for on-site cremation, funerals, and viewings, in addition to a lobby, meeting room, and a caretaker's unit. A crematorium is a separately regulated use that requires approval of a Conditional Use Permit ("CUP"). Crematoriums are typically fueled by natural gas and are used to combust and incinerate human remains.

BACKGROUND

General Plan:	Regional Commercial (RC)
Specific Plan:	None
Zone:	Regional Commercial (C-R)
Other City Plan(s):	None
Regional and State Plan(s):	Gillespie Field Airport Land Use Compatibility Plan
Notable State Law(s):	Assembly Bill 3205

In 2017, the applicant submitted a CUP application for a crematory in an industrial building at 1150 through 1168 North Marshall Avenue. The permit application was denied by the Planning Commission and subsequently appealed by the applicant. On March 14, 2017, the City Council upheld the Planning Commission's decision and denied the appeal.

In 2018, the applicant submitted a CUP application to add a crematorium to an existing funeral parlor and mortuary building in a commercial building at 374 N. Magnolia Ave. The permit application was denied by the Planning Commission and subsequently appealed by the applicant. On July 24, 2018, the City Council upheld the Planning Commission's decision and denied the appeal.

It is noteworthy to mention that staff has met with the applicant on numerous occasions to discuss potential locations (areas) for a proposed crematorium. Staff has routinely indicated that because the nature of the project includes the incineration of matter, potentially significant parking demands, and all other crematoriums in the region are in non-commercial areas, that a more suitable location within the City would be in an industrial zone.

Project Site & Constraints

The project site is a triangular-shaped lot that is 0.27 acres (12,000 square feet). The site includes a two story office building with on-site parking. The site has 232 feet of frontage on N. Magnolia Ave. and 110 feet of frontage on Coogan Way. The project site also includes an existing 65-foot high wireless communications facility and equipment building. No changes are proposed for the wireless communications facility.

Surrounding Context

Properties surrounding the subject site are developed and zoned as follows:

Direction	Zones	Land Uses
North	M	Manufacturing
South	C-R	Hampton Inn & Suites, California Fish Grill, Urbane Café, and other commercial uses
East (across State Route 67)	C-G	Target and other commercial uses
West	C-R	Home Depot and other commercial uses

General Plan

The project site is designated Regional Commercial ("RC") on the General Plan Land Use Map. As described in the General Plan, RC designated areas include large shopping centers (25-100 acres) characterized by a combination of large anchor stores and related satellite shops which all share common parking facilities. The General Plan further indicates that RC designated areas may also include such uses as: department stores; grocery stores; many clothing and shoe stores; jewelry stores; discount stores, etc. Regional Commercial areas may also include other major uses such as governmental and cultural facilities and may also be characterized by high-rise developments with mixed uses and that such centers are very important locally because of their sales tax generation and their ability to provide for regional uses.

The main entrance to Parkway Plaza Shopping Center is located approximately 770 ft. from the southerly property line of the site. The Parkway plaza shopping center is

identified as Special Development Area No. 8 on the General Plan, which is implemented by Specific Plan 19. Goal 9 of the General Plan indicates that, "A strong, competitive region-wide commercial base will be created and retained." Objective 9-1 further states, "Parkway Plaza and its immediate vicinity will be maintained as the City's regional shopping center." Lastly, Policy 9-4.3 of the General Plan states, "Commercial establishments shall be carefully integrated with the surrounding area. Conflicts with residential or other sensitive land uses should be minimized."

Goal 13 of the General Plan indicates that, "El Cajon will remain the Regional Center for East San Diego County." Objective 13-1 further states, "El Cajon will solicit and encourage land use and facilities which provide services on a region-wide basis." Lastly, Policy 12-1.1 states, "The City shall remain proactive in its efforts to attract regional uses to the El Cajon area."

Municipal Code

The property is located within the Regional Commercial ("C-R") zone. El Cajon Municipal Code ("ECMC") Chapter 17.145 regulates the commercial zones by addressing development standards, such as setbacks, building heights, and lot coverage, as well as allowable uses. Pursuant to ECMC section 17.145.150 Commercial Land Use Table, a crematory requires approval of a CUP, while a funeral parlor and mortuary is permitted in the C-R zone, except for properties within the downtown area (Specific Plan No. 182). A conditional use permit ensures compatibility among existing and planned land uses in the vicinity of a proposed use. It also recognizes and compensates for potentially adverse impacts. Furthermore, it ensures that the proposed use is in the best interest of public convenience and necessity, and not contrary to the public health or welfare.

Gillespie Field Airport Land Use Compatibility Plan

The subject property is located within Safety Zone 6 of the Gillespie Field Airport Land Use Compatibility Plan. Safety Zone 6 lists indoor small assembly, up to 299 people, as a compatible use.

Air Pollution Control District

The San Diego County Air Pollution Control District ("APCD") regulates and permits emissions from crematories. Air contaminants emitted from crematories/incinerators include oxides of nitrogen, carbon monoxide, volatile organic compounds, oxides of sulfur, particulate matter and toxic air contaminants. Emissions of mercury are a specific concern to the APCD. As part of the emissions permit process, Assembly Bill 3205 requires to notify parents of schoolchildren, neighboring businesses and residents of all new or modified equipment that emits any hazardous contaminant into the air that will be installed within 1,000 feet of a school site. The nearest school is Magnolia Elementary located at 650 Greenfield Dr., which is approximately 2,500 feet to the northwest. Staff would also note that Grossmont Secondary School and Altus Academy

indicate on their respective websites that they operate resource centers at Parkway Plaza. The primary building at Parkway Plaza is located approximately 1,400 ft. to the southwest of the subject site.

DISCUSSION

Within the City limits, there are no crematories and, if approved, this would be the first. Mortuaries and funeral parlors that provide cremation services send the bodies of the deceased to other locations for cremation. The applicant notes there is a growing need for cremation services in general, including in the El Cajon community. A project description with supplemental information was provided by the applicant that includes detailed crematory information and other crematory locations.

Crematories require approval of a permit from APCD and clearance through a Hazardous Materials Plan Check from the Hazardous Materials Division of the Department of Environmental Health ("DEH"). The equipment associated with cremation includes cremation units (incinerators), coolers to store cadavers, and urns. The cremation units are licensed and inspected annually while the operator of the units need also be licensed and certified by the State. The State's role is to regulate the management of hazardous materials. In order to operate the cremation service business, the applicant would be required to obtain approval of the land use permit, the APCD permit and obtain clearance from DEH. A list provided by APCD is attached for reference and notes the San Diego crematory locations. In San Diego County, there are a total of 13 locations, including two for animals.

The City has recently been successful in attracting new commercial development in the vicinity of the subject site. One of the newer uses in the vicinity is the Hampton Inn & Suites, which provides overnight lodging for travelers or visitors. The crematory would be visible from the Hampton Inn & Suites and travelers or visitors may have a negative perception of the use and choose to stay at a different location when traveling to the region in the future. Furthermore, the subject site is visible from State Route 67, as well as the off-ramps from south bound lanes to Parkway Plaza and the City's downtown. Ongoing City efforts to attract additional investment and redevelopment at Parkway Plaza, surrounding commercial centers, and City's downtown may be hindered if the crematorium is approved in a location that serves as a gateway to the City's regional assets.

FINDINGS

- A. *The proposed project is consistent with applicable goals, policies, and programs of the General Plan.*

The proposed crematory is not consistent with the goals, policies or programs of the General Plan. Goal 13 of the General Plan indicates that, "El Cajon will remain the Regional Center for East San Diego County." Objective 13-1 further states, "El Cajon

will solicit and encourage land use and facilities which provide services on a region-wide basis." Lastly, Policy 12-1.1 states, "The City shall remain proactive in its efforts to attract regional uses to the El Cajon area." The crematory will hinder efforts to attract additional investment and redevelopment at Parkway Plaza and surrounding commercial areas.

B. The proposed project is consistent with all applicable use and development standards.

The proposed project is consistent with all applicable use and development standards with an approved conditional use permit and with any necessary approvals from the San Diego Air Pollution Control District. The proposed use is also consistent with the Gillespie Field Airport Land Use Compatibility Plan.

C. The proposed project will be operated in a manner that is compatible with existing and planned land uses in the vicinity of the proposed use.

The subject site and the proposed use is on Magnolia Avenue which is a regional commercial corridor that is visible from State Route 67 and serves as a gateway to Parkway Plaza and the City's downtown. The proposed on-site cremation services has the potential to negatively impact or limit new commercial development opportunities thereby compromising the existing and planned land uses in the vicinity.

D. The proposed project will not be detrimental to the public health, safety, and general welfare, including but not limited to matters of noise, smoke, dust, fumes, vibration, odors, and hazards or excessive concentrations of traffic.

Odors, smoke and particulate matter may emanate from the use if the operation fails. Air Pollution Control District cannot guarantee that there will be no emissions of any kind when cremating human remains. Furthermore, funerals typically have a high parking demand that may not be fully accommodated on the subject site.

E. The proposed use is in the best interest of public convenience and necessity.

The necessity for cremation services to occur at the subject property is not evident. Furthermore, an alternative location in the City's industrial area would be better suited. For those needing cremation services, those services are offered at alternative locations in the region. Therefore, at this time, the city does not see a void that needs to be filled by providing cremation services at the proposed location.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The proposed project is exempt from the California Environmental Quality Act ("CEQA") subject to a section 15301 of the CEQA Guidelines. Section 15301 provides an exemption for existing facilities where there is negligible expansion of an existing use and physical improvements are limited to minor interior or exterior modifications. If approved, section 15301 would apply as no new environmental impacts would result, and none of the

exemption exceptions listed under CEQA Guidelines section 15300.2 exist. However, section 15270 provides an exemption for projects which are disapproved noting that CEQA does not apply to projects which a public agency rejects or disapproves.

PUBLIC NOTICE & INPUT

A notice of application was mailed on October 26, 2022, to property owners and occupants within 300 feet of the project site to inform them of the application for a crematorium. A notice of this public hearing was mailed on January 5, 2023, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with Government Code sections 65090, 65091, and 65092, as applicable. Additionally, as a public service, the notice was posted in the kiosk at City Hall and on the City's website under "Public Hearings/Public Notices." The notice was also mailed to the two public libraries in the City of El Cajon, located at 201 East Douglas Avenue and 576 Garfield Avenue.

Staff received verbal comments in opposition to the request from the owner of Hampton Inn & Suites. Staff also received a letter in opposition from Gershman Properties, LLC, the owner of the commercial center with Urbane Café and other commercial uses. The letter of opposition is attached and includes concerns about attracting high quality commercial tenants to the area if the crematorium is approved. No other public comments have been received as of the date of this report.

RECOMMENDATION

Staff recommends denial of CUP No. 2022-0005 for the East County Crematorium. Although the El Cajon Zoning Code list crematory as a conditionally allowed use if all findings can be made, staff believes that the proposed use is better suited in an area that is not in close proximity to regional commercial uses and employment centers.

PREPARED BY:



Noah Alvey
DEPUTY DIRECTOR OF
COMMUNITY DEVELOPMENT

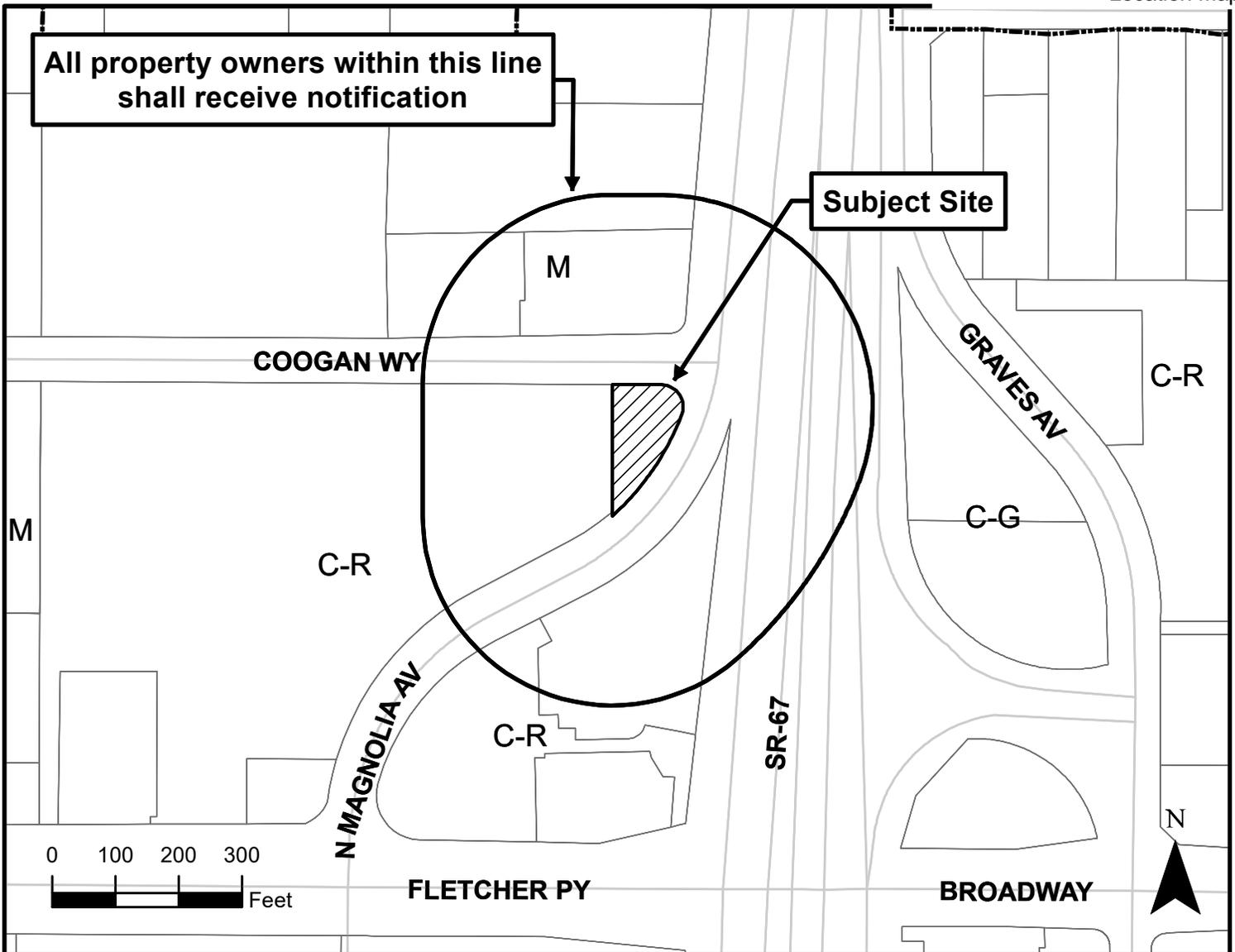
APPROVED BY:



Anthony Shute
DIRECTOR OF COMMUNITY
DEVELOPMENT

ATTACHMENTS

1. Public Hearing Notice/Location Map
2. Proposed Resolution DENYING CUP No. 2022-0005
3. Aerial Photograph of Subject Site
4. Application & Disclosure Statement
5. Project Description & Cremation Equipment Information
6. APCD List of San Diego County Permitted Crematoriums
7. Building Plans & Elevations
8. Letter of Opposition from Gershman Properties, LLC



**NOTICE OF PROPOSED
CONDITIONAL USE PERMIT
EAST COUNTY CREMATORIUM**

NOTICE IS HEREBY GIVEN that the El Cajon Planning Commission will hold a public hearing at **7:00 p.m., Tuesday, January 17, 2023** in the City Council Chambers, 200 Civic Center Way, El Cajon, CA, to consider:

CONDITIONAL USE PERMIT (CUP) NO. 2022-0005, as submitted by 12X16 Design Workshop, LLC on behalf of East County Mortuary, Inc., requesting a 4,664 square foot crematorium with office and meeting space, reception area, and gathering space for cremation witnessing. The subject property is located on the southwest corner of North Magnolia Avenue and Coogan Way, and is addressed as 1034 North Magnolia Avenue, APN 483-071-29-00. This project is exempt from the California Environmental Quality Act (CEQA).

The public is invited to attend and participate in this public hearing. The agenda report for this project will be available 72 hours prior to the Planning Commission meeting at <https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all>. In an effort to reduce the City's carbon footprint, paper copies will not be provided at the public hearing, but will be available at City Hall in the Project Assistance Center upon request.

If you challenge the matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Commission, or prior to, the public hearing. The City of El Cajon encourages the participation of disabled individuals in the services, activities, and programs provided by the City. Individuals with disabilities who require reasonable accommodation in order to participate in the public hearing should contact Planning at 619-441-1742. More information about planning and zoning in El Cajon is available at <http://www.elcajon.gov/your-government/departments/community-development/planning-division>.

If you have any questions, or wish any additional information, please contact **SPENCER HAYES** at 619-441-1742 or via email at shayes@elcajon.gov and reference "CUP-2022-0005" in the subject line.

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION DENYING CONDITIONAL USE PERMIT NO. 2022-0005 FOR A CREMATORIUM IN THE C-R (REGIONAL COMMERCIAL) ZONE, GENERAL PLAN DESIGNATION: REGIONAL COMMERCIAL (RC); APN: 483-071-29-00

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on January 17, 2023, to consider Conditional Use Permit ("CUP") No. 2022-0005, as submitted by East County Mortuary, Inc. (Robert Zakar), requesting approval of a crematorium in the C-R zone, on property located on the south west corner of Coogan Way and N. Magnolia Ave., and addressed as 1034 N. Magnolia Ave.; and

WHEREAS, the following findings of fact are hereby made in regard to said matter:

- A. The proposed project is exempt from the provisions of the California Environmental Quality Act ("CEQA") according to section 15061(b)(4) of the CEQA Guidelines. Section 15061(b)(4) states that projects which are disapproved by a public agency are exempt from CEQA.
- B. The proposed crematory is not consistent with the goals, policies or programs of the General Plan. Goal 13 of the General Plan indicates that, "El Cajon will remain the Regional Center for East San Diego County." Objective 13-1 further states, "El Cajon will solicit and encourage land use and facilities which provide services on a region-wide basis." Lastly, Policy 12-1.1 states, "The City shall remain proactive in its efforts to attract regional uses to the El Cajon area." The crematory will hinder efforts to attract additional investment and redevelopment at Parkway Plaza and surrounding commercial areas.
- C. The proposed project is consistent with all applicable use and development standards with an approved conditional use permit and with any necessary approvals from the San Diego Air Pollution Control District. The proposed use is also consistent with the Gillespie Field Airport Land Use Compatibility Plan.
- D. The subject site and the proposed use is on Magnolia Avenue which is a regional commercial corridor that is visible from State Route 67 and serves as a gateway to Parkway Plaza and the City's downtown. The proposed on-site cremation services has the potential to negatively impact or limit new commercial development opportunities thereby compromising the existing and planned land uses in the vicinity.

Proposed Planning Commission

- E. The Odors, smoke and particulate matter may emanate from the use if the operation fails. Air Pollution Control District cannot guarantee that there will be no emissions of any kind when cremating human remains. Furthermore, funerals typically have a high parking demand that may not be fully accommodated on the subject site.
- F. The necessity for cremation services to occur at the subject property is not evident. Furthermore, an alternative location in the City's industrial area would be better suited. For those needing cremation services, those services are offered at alternative locations in the region. Therefore, at this time, the city does not see a void that needs to be filled by providing cremation services at the proposed location.

NOW, THEREFORE, BE IT RESOLVED that based upon said findings of fact, the El Cajon Planning Commission hereby DENIES Conditional Use Permit No. 2022-0005 for a crematorium in the C-R zone, on property located on the south west corner of Coogan Way and N. Magnolia Ave., and addressed as 1034 N. Magnolia Ave.

[The remainder of this page intentionally left blank.]

Proposed Planning Commission

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held January 17, 2023, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Chair

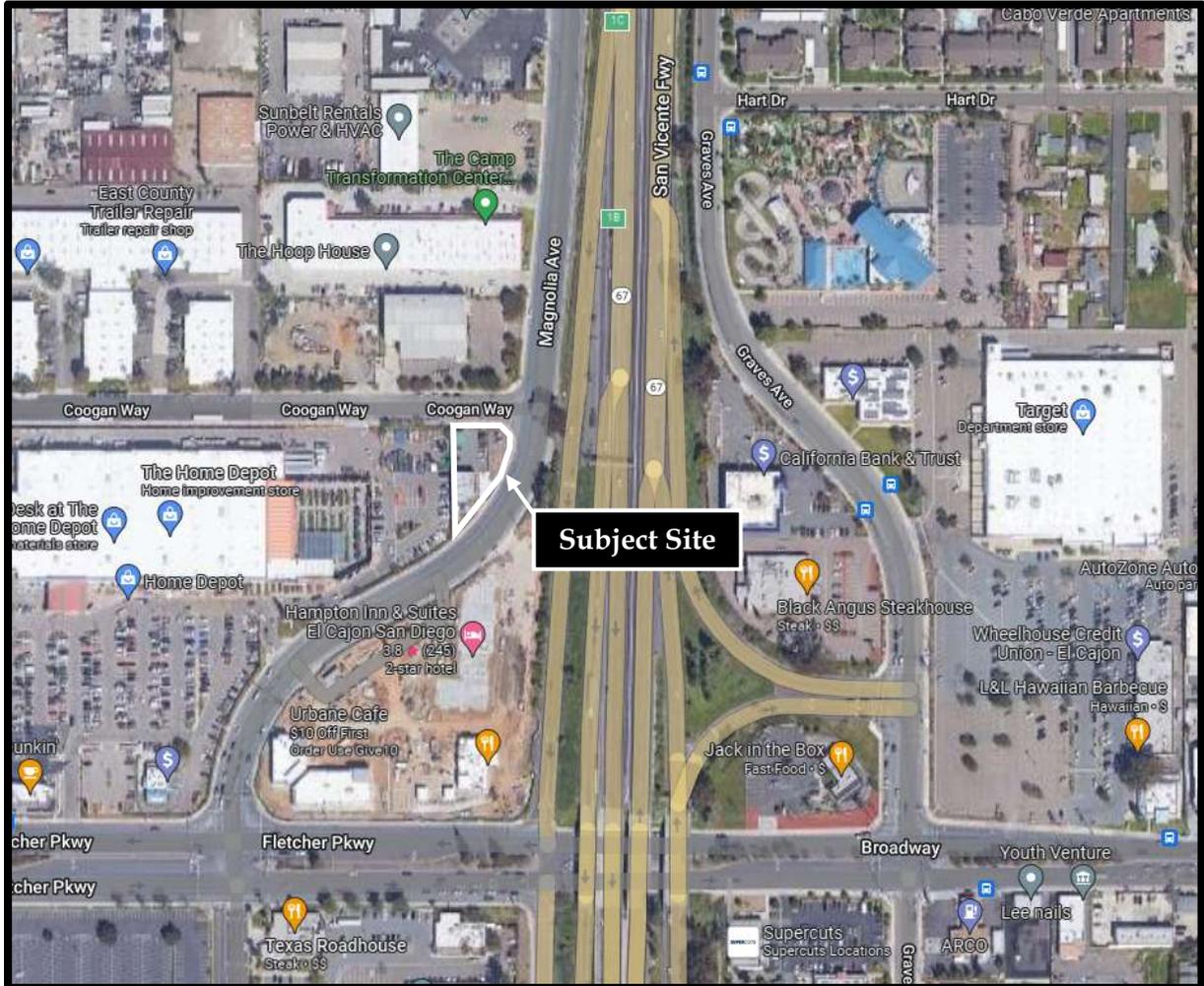
ATTEST:

Noah ALVEY, Secretary

Aerial Image

CUP No. 2022-0005

East County Crematorium



An effort is being made to improve the existing conditions to the site.

Complete interior remodel of existing first and second floor

Project Assistance Center
PLANNING PERMIT APPLICATION



Type of Planning Permit(s) Requested:

<input type="checkbox"/> AZP Administrative Zoning Permit	<input checked="" type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> LLA Lot Line Adjustment	<input type="checkbox"/> MA Minor Amendment
<input type="checkbox"/> MUP Minor Use Permit	<input type="checkbox"/> PRD Planned Residential Development	<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SDP Site Development Plan Permit
<input type="checkbox"/> SP Specific Plan	<input type="checkbox"/> SCR Substantial Conformance Review	<input type="checkbox"/> TPM Tentative Parcel Map	<input type="checkbox"/> TSM Tentative Subdivision Map
<input type="checkbox"/> VAR Variance	<input type="checkbox"/> ZR Zone Reclassification	<input type="checkbox"/> Other: _____	

Project Location

Parcel Number (APN): 483-071-29-00

Address: 1034 N Magnolia Ave.

Nearest Intersection: Coogan Way

Project Description (or attach separate narrative)

The submission includes a separate narrative pdf document that is titled "Letter to Ci

This letter includes responses to City comments from incomplete submittal dated Ma

Project Screening Questions

Existing use? No Yes

Modification of use? No Yes

New development or addition? No Yes

Existing Structures? No Yes

If yes, please describe:

Office Building

Crematorium

Total area of additions equal to 1,959 SF

Age of the structures: 1975 (47 years)

Demolition or substantial modification proposed to site improvements or structures?	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	<u>An effort is being made to improve the existing conditions to the site.</u>
Tenant improvements proposed?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	<u>Complete interior remodel of existing first and second floor</u>
Existing vegetation or trees on site proposed for removal?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<u>Existing hardscape to removed and replaced with landscaping</u>
Proposed grading?	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	<u>Proposed quantities of cut and/or fill. Balance (less than 250cy)</u>

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name: East County Mortuary Inc.

Contact Name: Robert Zakar

Mailing Address: 374 N Magnolia Ave. El Cajon

Phone: 619.654.7532 Email: robertzakar@yahoo.com

Interest in Property: Own Lease Option

Project Representative Information (if different than applicant; consultant information here)

Company Name: Kana Development Group

Contact Name: Michael Aguilar License: _____

Mailing Address: 12620 Magnolia Avenue

Phone: 714-986-1400 ext281 Email: maguilar@kanadg.com

Property Owner Information (if different than applicant)

Company Name: _____

Contact Name: _____

Mailing Address: _____

Phone: _____ Email: _____

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: _____ Date of List: _____

Authorization

Applicant Signature¹:

Michael Aguilar

Digitally signed by Michael Aguilar
DN: C=US, E=maguilar@kanadg.com,
O="Kana Development Group, Inc",
CN=Michael Aguilar
Location: from the office
Reason: I am approving this document
Date: 2022.09.09 09:10:51 -0700

Date: 9/9/22

Property Owner
Signature²:



Date: 9/9/22

1. **Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
2. **Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

Pre-submittal Review

The purpose of a pre-submittal review is to provide you an opportunity to review your project with the City's development team in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. **A pre-application is required unless waived by staff.**

4. Have you or your agents transacted more than \$500.00 worth of business with any member of City staff, Boards, Commissions, Committees and Council within the past 12 months or \$1,000.00 with the spouse of any such person? Yes X No

If yes, please indicate person(s), dates, and amounts of such transactions or gifts.

Bill Wells for Mayor \$5000.00 in November 2021

“Person” is defined as “Any individual, proprietorship, firm, partnership, joint venture, syndicate, business trust, company, corporation, association, committee, and any other organization or group of persons acting in concert.” Gov’t Code §82047.



Signature of applicant / date

Robert Zakar

Print or type name of applicant

NOTE: Attach appropriate names on additional pages as necessary.

**ROBERT ZAKAR
374 N. MAGNOLIA AVE.
EL CAJON, CA 92020
(619) 654-7532**

September 9, 2022

Planning Department
City of El Cajon
200 Civic Center Way
El Cajon, CA 92020

RE: East County Crematorium CUP-2022-0005
Conditional Use Permit No. 2236
1034 N. Magnolia Avenue, El Cajon

Dear Planning Department:

Please accept this narrative in support of our application for a Conditional Use Permit to allow for the operation of a crematorium at 1034 North Magnolia Avenue.

Our establishment will perform cremations on the premise. If requested by the family, we will allow them to witness the cremation. Witnessing the cremation, although not common, is requested at times due to the fact that family members prefer to witness this event of life. Mostly to ensure that the remains / ashes are truly those of their loved one. Most witness cremations have an average of 3 – 6 people in attendance. This witnessed cremation is a very important part of a funeral and allows for the family to have final closure, similar to a burial. The vast majority of those in attendance arrive in 1 - 2 vehicles. Historically, this has been done as families comfort each other during this time and are often together from the moment of death until the final cremation.

We anticipate that this type of service will staff one employee, and on occasions two. It is also anticipated that the business will retain its office operations while performing a service. Our project proposes an office space at the second level of the building with enough floor area to accommodate six workstations, comfortably. This will allow our business the opportunity to grow, while creating jobs for its very own community that it serves. Employees on the office space are anticipated to work Monday thru Friday from 9:00 A.M. to 5:00 P.M. These are the same hours of operation when the building is open to the public. Even though the facility will be closed to the public during the weekends, the operations of the crematorium are anticipated to remain in service, as our business operates more in response to the present demand of its community.

As far as parking is concerned, we will have a 2-car garage that will be utilized by employees only. This will be used for employee parking and also for loading & unloading. We will have ample parking for visitors, again due to the fact that we expect a small amount of visitors during any witnessed cremation. Based on historical demand, we are not anticipating to seek additional off-site parking from surrounding property owners. We will ensure to advise each visitor that they are limited in the amount of people that are able to witness the cremation. However, as stated earlier we do not expect this to be an issue due to historic statistics indicating that only a small number of family and friends witness a cremation.

Also, please see attached our Response to the Findings and the attached exhibits.

Please consider the above in making a fully educated decision and feel free to call me with any questions.

Respectfully submitted by:

Robert Zakar

Robert Zakar and Jonathan Ramirez-Torrero

RESPONSE TO FINDINGS

RE: 1034 N. Magnolia Ave.

Conditional Use Permit No. 2022-0005

Dear Council:

Please accept this letter as my response to the May 6, 2022 letter regarding the incomplete submittal for a crematorium at 1034 N. Magnolia.

With regards to the paragraph titled Planning, my response is as follows:

1. REQUIRED FINDINGS

a. The proposed use is consistent with applicable goals, policies, and programs of the general plan, and with any applicable specific plan.

RESPONSE TO FINDING:

The proposed location is zoned Regional Commercial as determined by El Cajon's General Plan (GP). It is located on the corner of Coogan Way and N. Magnolia. The north side of Coogan Way is zoned Industrial Park.

The project is consistent and promotional with Goals 1, and 8 through 13 of the GP and there is no negative impact to the remaining un-named goals.

This location fits in the GP, as our business is not only essential, but provides a service which is compatible and promotional to Goals 9 through 13. Currently, there are 5 crematoriums in all of San Diego County, and none of which are located in East County. We determined that this area, which is located in a regional commercial area would best work as it fits in the City's GP and provides a service that the area is currently lacking.

b. The subject site plan and building design are consistent with all applicable use and development standards.

RESPONSE TO FINDING: Yes, refer to narrative below.

The subject site plan is consistent with applicable use and development standards. The building is already designed and will further undergo a beautification plan that will make its design even more aesthetically appealing. Cemeteries, funeral homes, mortuaries, and crematories are located in all zoning districts, including residential, commercial, and manufacturing.

Further, we will work closely with the planning department to ensure that the site plan and building design conform with all applicable use and development standards.

c. The proposed use will be operated in a manner that is compatible with existing and planned land uses in the vicinity of the proposed use.

RESPONSE TO FINDING:

There are no known compatibility issues for a crematory within the City's Regional Commercial zoning. Crematories, throughout the country, are located in all different types of planned uses, including residential, commercial, and industrial. Therefore, any businesses in the area would not be impacted and in fact would be compatible with a crematory. Crematories are very discrete. The amount of traffic and visitors is minimal to all surrounding businesses. This type of business does not attract a large number of customers, traffic, or loiterers, etc.

d. The proposed use and project design will not be detrimental to the public health, safety, and general welfare, including but not limited to, matters of noise, smoke, dust, fumes, vibration, odors, and hazards or excessive concentrations of traffic.

RESPONSE TO FINDING:

To be clear, there will be no odors, smoke, and particulate matter emanating from the use of the crematory. In fact, the manufacturer of the cremator has provided a brochure of its product, which I am attaching as Exhibit A. There are a number of internal safety mechanisms in place that would correct any malfunction of the cremator, if one were to occur. Further, that even if there were a malfunction that NO odor, smoke, or particulate matter would emanate.

Smoke:

Smoke is the result of incomplete combustion and not maintaining a balance of fuel, oxygen, and temperature. The Facultatieve Technologies (FT) cremator provides a finite control of balancing these three components ensuring that smoke is not released to the atmosphere.

Odor:

The cremator from FT provides a finite computer control of the combustion process by utilizing an oxygen sensing and modulation system to balance the three components of combustion: oxygen, fuel, and temperature. The oxygen within the cremator is continuously adjusted automatically via five (5) air valves that ensure that the correct combustion balance is produced, and cremation of the human corpse is complete and therefore eliminates the possibility of odors being released from the cremator.

FT has performed scientific testing for odors based upon EPA 40CFR60 – United States EPA. Those test results are available upon request.

Noise:

The cremator proposed to be used in this facility has been tested by a third-party acoustics testing company to provide scientific documentation of noise created by the cremator while in operation. Their results indicated that the FT Cremator will produce noise levels of 60 dBA to 65 dBA immediately outside the crematory building. On a typical Class C property, this level will not even be audible, due to the ambient noise already present from neighboring operations.

Vibration:

The cremator as manufactured by FT is a multi-wall insulated, self contained unit that does not emanate any perceivable vibration outside of the cremator building.

Fumes:

If there is no perceived smoke or odor then there are no perceived fumes or excess heat emanating from the cremator.

To be clear, there is NO human particulate or odor that emits from outside the building. Throughout the State of California and the nation, crematories are located in residential and commercial districts. Further, the University of California San Diego has a crematory on its campus for its scientific research. When UCSD, is finished with its research on bodies, it cremates same. San Diego was comfortable enough with crematories to allow one on its university's campus, which is inundated with people who use the campus.

My company will be using state of the art equipment and technology, designed by FT. Please see Exhibit A, that includes information relating to the equipment and cremations.

e. The proposed use is in the best interest of public convenience and necessity.

RESPONSE TO FINDING:

This area is truly lacking in crematoriums. The top 5 counties by population and number of crematories are as follows:

County	Population	# of Crematories	Crematories per person
1. Los Angeles:	10,170,292	27	376,677
2. San Diego:	3,299,521	5	659,904
3. Orange:	3,169,776	13	243,828
4. Riverside:	2,361,026	15	157,401
5. San Bernardino:	2,128,133	11	193,466

(Exhibit B, California Counties by Population and Crematories)

When you look at the population of the top 5 counties and the number of crematories in each county it is truly staggering how much San Diego County is lacking in crematories. There are only 5 in the entire county of San Diego. Four of these locations are owned by large corporations, one by a small local crematory, and the other being the University of California San Diego. (Exhibit C, Cemetery and Funeral Bureau, Crematories in San Diego County). For local funeral homes to perform a crematory, the nearest crematory is in Vista, more than 45 minutes away, and even longer when traveling in a funeral procession. However, there are no other alternatives in the area. To think that the counties of San Bernardino and Riverside who have far less of a population, but 2 times and 3 times the number of crematories, is further evidence of the need for a crematory in the area.

The number of cremations continues to rise dramatically. The need for a cost effective funeral is ever more necessary. In fact, the Catholic Church recently found that cremations are an acceptable way of handling deceased individuals. The Cremation Association of North America has provided evidence of the high demand of cremations (Exhibit D, CANA 2016 Annual Statistics Report). In 2011, 51-60% of individuals preferred cremation, and that number rises in 2015 to 61-70%. Also attached, is the 2015 Annual Report Case Total by Funeral Establishments in San Diego County (Exhibit E) which provides the percentage of burials to cremations in San Diego County, with cremations amounting to 62% as compared to burials. This data provides affirmative proof that the need for cremations has been rising, yet El Cajon lacks in providing this type of service to its residents.

Currently, we are in the middle of a pandemic. As a result, residents of El Cajon were waiting 90-120 days to receive their loved ones back as a result of the shortage of crematories in the area. These loved ones were shipped to different crematories throughout California. As a result, these loved ones were stored in a cooler, awaiting to be cremated. This was truly inhumane and morbid. This pandemic was proof positive that crematories are needed in this area.

2. General Plan Consistency: Policy 9-4.3 of the General Plan states, “Commercial establishments shall be carefully integrated with the surrounding area. Conflicts with residential or other sensitive land uses should be minimized.” The proposed use may result in compatibility issues with overnight lodging for travelers or visitors.

As stated earlier, crematoriums are located throughout the country in all types of different zoning areas. These include residential, commercial, and industrial. These crematoriums are located on university property, strip malls, and across the street from houses. Overnight lodging for travelers or visitors will not be impacted as these crematoriums are very discrete. There will be no large signs that would light up throughout the night indicating what we do. The University of California in San

Diego has a crematorium on its campus, without anyone being none the wiser. There are no fumes, particulates, odors, or anything else that would make anyone have any reason to be concerned.

3. Project Description:

a. How many cremation ceremonies will occur during a typical week?

We will be conducting what we call “witnessed cremations.” These are simply allowing family members to be present during a cremation. Cremations have evolved throughout the years and currently many crematoriums are allowing witnessed cremations. Family members will be present to watch the deceased enter the retort. Family members of deceased individuals find this to be a critical part of the grieving process. The entire witnessing of the cremation from start to finish will take approximately ½ hour at our location. We expect to perform 10-15 witness cremations (ceremonies) per week.

b. A loading/unloading area does not typically contribute to parking requirements because it is part of the business operations; please elaborate further on the following:

Each delivery will be brought in by a mini-van that does not have any logos or insignia on them indicating what they are carrying. These mini-vans are not owned or leased by us, are owned by a separate company and are not stored at our location. The delivery takes place very discretely, wherein the mini-van will enter via the garage door. The mini-van will back into the garage and the person will be removed. The deceased will be fully covered and not visible to anyone. The mini-van will immediately thereafter leave the premises. This whole process takes approximately 15 minutes. On average we expect 3-5 deliveries per day.

i. Typical number of daily deliveries: 3-5 per day. Please note that NOT all deliveries require a ceremony.

ii. Duration of the typical deliveries: 15 minutes.

iii. Confirm if delivery vehicles are part of the business operation, stored off-site, or provided by a separate vendor: Separate vendors will make these deliveries and will temporary park in the garage when arriving on site.

iv. Confirm if delivery times will be restricted to address employee vehicle parking demand during cremation ceremonies: The delivery area will have its own separate parking within the garage of the location and will be separate from the parking areas for employees and visitors. Again, these mini-vans will not be parked in the parking lot, will not block any areas of ingress, egress, or parking spots. They will be backed into the garage for a short period and immediately leave, and not utilize any of our parking spots.

RESPONSE TO DEVELOPMENT STANDARDS

RE: 1034 N. Magnolia Ave.
CUP No. 2022-0005

Dear Planning Department, City of El Cajon:

Please accept this letter as my response to the May 6, 2022 letter regarding the incomplete submittal for the crematorium at 1034 N. Magnolia.

With regards to the paragraph titled Development Standards, my response is as follows:

4. DEVELOPMENT STANDARDS

- a. On-site Parking:** A crematorium is not covered under ECMC 17.185.190, table: 17:185:190. This application seeks parking requirements as determined by the director ECMC 17.85.100. To assist in this determination we offer the following analysis:

It is anticipated that this crematorium will operate 9am-5pm on weekdays while open to the public with a maximum of 3 employees, 1 operator (O) of the cremator, and 2 administrative assistances (AA). One AA will act as the host for ceremonial cremations and the other AA will address the public, as they visit the establishment and answer phone calls. Assuming the worst case scenario where none of the employees carpool, there will be a need for 3 staff parking stalls.

During a ceremonial cremation there is an average of 3-5 witnesses (W) that typically carpool in 2 to 3 vehicles. Assuming the worst case scenario of an average ceremonial cremation, there will be a need for 3 parking stalls of which one of them may or may not need to be ADA accessible.

With the analysis above there is an average weekday need for 6 parking stalls of which one can be ADA accessible, for the average weekday ceremonial cremation. The current parking lot configuration of this proposed crematorium is 9 spaces which includes one ADA accessible stall. Therefore there will be 3 available stalls for ceremonial cremations that have more than average attendance.

b. Off-site Parking: The operation of this particular establishment does not require additional off-site parking spaces based on historical demand.

c. Conceptual Landscaping Plan: Our resubmission project incorporates a planting, irrigation and landscape details documented under sheets L1.0, L2.0 & L3.0.

d. Screening of Rooftop Mechanical Equipment: Our project incorporates the screening of the existing mechanical equipment on the rooftop. To confirm heights, the parapet height is documented as 3 feet in height and the mechanical equipment has an overall height dimension of 5 feet and 6 inches. There are currently (3) identical Air Conditioning units on the roof of the existing building. The most southern unit is currently visible. The southern unit will be relocated to another part of the roof where it will be completely screened. Please make reference to the buildings' elevation marks for clarification.

e. On-site lighting: Exterior lighting at the building is shown along the path of travel. Lighting at parking spaces are shown as groundcover. Please refer to Conceptual Lighting Plan (LP1.0) within the planset.

PUBLIC WORKS

Required Information:

Existing Condition:

Impervious/Pervious area table, with types (Buildings, Parking, Sidewalks/patios, Landscaping, etc with Areas in Square Feet. Plans has been revised for this submittal.

Proposed Condition:

Impervious/Pervious area table, with types (Buildings, Parking, Sidewalks/patios, Landscaping, etc with Areas in Square Feet. Plans has been revised for this submittal.

Tables to include Total Impervious/ Total Pervious areas. Plans has been revised for this submittal.

Any and all on-site storm water drainage features - roof drains, drainage pipes, etc. Site plan has been revised for this submittal.

All Area information must be used to fill out Storm Water Intake Forms. Storm Water Intake Forms have been provided with the write-up portion of this submittal.

Site Plans incomplete for Private Development/Engineering:

Right of Way dimensions for N Magnolia are not complete, see APM 483-07 and PM 12265, PM21620 for Record Dimensions and show required 2-foot dedication to provide a 42' distance from Centerline to new Property line. Site plan has been revised for this submittal.

All N. Magnolia Ave street dimensions full width, Centerline to Face of Curb, Face of curb to Property Line, required 2-ft dedication. Site plan has been revised for this submittal.

Driveway on Coogan must be reconstructed to comply with current ADA standards, per San Diego Regional Standard Drawings G-26 and SD RSD G-14B, modified. Site plan has been revised for this submittal to note the appropriate callout for new ADA driveway.

Wrought Iron Fence is located within public ROW, must be relocated out of Public ROW. Site plan has been revised for this submittal to note the relocation of the fence to coincide with relocation of adjacent property owner's fence.

1. The revised site plan documents all existing and proposed impervious and pervious area for reference. In summary, the project proposes an overall decrease of 16 percent of impervious areas over existing, and a 98 percent increase in pervious areas over existing site conditions. All of these calculations have been tabulated for ease of reference and area designations. The areas further reflect the storm water forms that inform the proper designation for the implementation of BMP measures to our project. Other proposed improvements include the reconstruction of the curb opening per SD RSD G-26 and G-14B.

BUILDING

2. The proposed plans are incomplete and do not provide sufficient detail for a complete review by the Building Division. Please revise the plans to provide additional information described below:

a. Building code separation standards between the cremation furnace and the witness cremation room (including glass wall for viewing). Per the CBC Section 721, the fire separation between the cremation furnace and the witness cremation room is being documented with prescriptive fire resistance rating wall assemblies. The proposed floor plan notes a 1-hour fire-resistant non-bearing wall at the interior of the existing concrete wall. The CBC documents the construction method of this partition, under Assembly 13-1.1. At the exterior of the existing concrete wall, we propose to anchor into a new concrete foundation, a prescriptive steel wall assembly documented under numbers 13-1.3. This wall will enclose the cremation equipment designed by Facultatieve Technologies (FT).

For clarification purposes, the project does not document any glass partitions in its proposal. However, a small penetration into this (3) layered wall assembly is being envisioned. The opening will allow for the automated loader, or lifted platform, to travel unobstructed to the cremator equipment.

b. Building occupancy calculation including information and code section citations from the California Building Code. Room occupancy for witness cremation room and chamber room have been tabulated per CBC §1004.5. and shown on the plans.

c. ADA parking requirements and path of travel. ADA parking requirement and detail is documented on plans and a means of egress included for ease of reference.

d. Requirements and details for the covered trash enclosure. Details for the trash enclosure have been incorporated on the plans.

HEARLAND FIRE & RESCUE

2. The proposed plans are incomplete and do not provide sufficient detail for a complete review by Heartland Fire & Rescue. Please revise the plans to provide additional information described below:

a. Identify the location of the fire hydrant on Coogan Way. Location and call-out of existing fire hydrant on Coogan Way has been added to site plan.

b. Cremation furnace specifications (size, burning temperatures, ventilation, etc.). The cremator selected is specified under model FT III, from the manufacturer Facultatieve Technologies. The floor plan notes the equipment and recommended clearances within the space. Please refer to the Exhibit A (attached) for further details on the size and mechanics of the selected equipment.

c. Fire sprinkler and alarm design/requirements. A conceptual fire sprinkler plan has been incorporated into the plan set.

d. Confirm fire exiting requirements based on building occupancy. The means of egress proposed for the building complies with the requirements set by Chapter 10 of the California Fire Code. The proposed floor plans further elaborate with annotation and dimensions, all ceiling heights for each room, as well as all width dimensions for a clear path of travel between both levels of the building. We proposed to add an interior staircase to the building, something that was previously missing; as well as proposing to create an ample exterior deck structure and staircase at the second level, to facilitate exit from the building. In summary, based on the building occupancy set forth in Table 509, Section 508.4.4.1, from the CBC;

the building proposes a total of seven exits to the building where six exits can be located on the first level, and one on the second floor.

e. Details regarding the glass separation between the witness cremation room and the cremation furnace. No glass separation is being proposed between the witness cremation room and the cremation furnace. Refer to plan details for further clarification.

EXHIBIT A



Cremation & Incineration Equipment

Cremation 101

Introduction to Cremation Facts & Statistics

State of California

**Prepared by: Ernie Kassoff
National Sales Manager
August 2022**

Crematory – “Not in my Backyard Syndrome”

So, your local funeral home or cemetery announces that they want to place a crematory in their facility and suddenly the community starts to panic saying that it will pollute the air, smell, smoke, drive values of real estate down, and be an eyesore.

Unfortunately, we live in a world that is strongly fed by the ability to seek out information via the internet and the downside of the information flow is that in most cases the only things that are reported are negative when it comes to crematories or the cremation process. What is hard to research, are the positive sides of crematories that provide the service with dignity and reverence when it comes to the loss of a loved one. Modern crematories are designed to provide families with a comfortable place to say their final goodbyes, much like what has been done at graveside services. Again, it is unfortunate that we only hear and see the reports of crematories found in a basement or a dirty garage, spewing smoke and odors. What we do not hear is that today’s modern crematories can be compared to being somewhat like a hospital operating room with the highest degree of cleanliness and a warm inviting setting to provide comfort to the family and friends of the deceased.

Facultatieve Technologies offers high quality human cremation equipment, providing the latest technologies, meeting state, local and national requirements when it comes to environmental standards including pollution control, noise, and odors. It should be understood that the crematory is regarded as a place of reverence by funeral professionals who have dedicated their lives to help others in mourning the loss of a loved one and thus a very important part of serving the community. The misunderstanding regarding what we do, how it is done and how we protect the environment is something that the public, needs to be educated.

The following information is based on facts and scientific documentation, not hearsay.

History

Cremations have been performed longer than most people know. It has been documented that the first cremations were performed as early as 300 B.C. most likely in Europe and the Far East. The practice of cremation continued as the preferred disposition until about 400 A.D. when ground burial completely replaced cremation. In 1873 an engineered cremation chamber was developed and introduced at the Vienna Exposition. The development of this new machine revolutionized the cremation process and the movement of modern cremation started to expand on both sides of the Atlantic. The main reason that cremation became prevalent was based on hazardous health conditions dealing with improper burial practices and causing mass breakouts of diseases causing many deaths. In 1876 the first crematories were built in the United States and followed by the United Kingdom in 1878. By 1900 there were 20 crematories from the East Coast to the West Coast in the United States. By 1913 there were 52 crematories in the United States performing more than 10,000 cremations per year. The growth of cremation was somewhat slow for the next 60 plus years and by 1975 there were 425 crematories performing 150,000 cremations per year. In 1999 there were 1,468 crematories operating in the U.S. performing 595,617 cremations per year or 25.39% of all deaths in the U.S. The latest figures from 2019 show that the number of crematories has surpassed 3,000 performing more than 1,500,000 cremations meaning that 54.6% of the deaths in the U.S. preferred cremation over ground burial.

The cremation growth rate continues to increase and in 2020 climbed to 56.1% and is estimated to increase another 5% by 2025. Although these numbers are based upon cremations across the United States the percentage varies state by state with the western section of the country averaging better than 70%.

Let's look at California ...

2019 Number of deaths in California	270,958	2019 Cremations in California	173,967 = 64.2%
2020 Number of deaths in California	318,220	2020 Cremations in California	207,025 = 65.1%
2121 Provisional Number of deaths in California		332,884	
2021 Provisional Number of deaths in California		217,389 = 65.3%	

(Please note that in 2015 the percentage was 62.1%)

Estimated cremation rate in California	2026 = 69.4%
	2031 = 72.4%

California is ranked in the top 10 of US States in the number of cremations and in the continuous growth in the number of cremations.

In summary, families throughout the United States have continued to choose cremation over ground burial for many reasons. California is a leader in North America for cremation and projections estimate that by 2025 the percentages will continue to increase. What this means for funeral homes is that to continue to operate a profitable business and serve their communities an on-site crematory is a necessity.

On-site crematory and its Impact on the Community

So why does your local funeral home want to have a crematory and what it is going to look like? What impact is it going to have on your community? What impact will it have on the environment within your community?

What most people have seen either on the internet or possibly in person is an old unkept building that is not very inviting. Today we are building crematories that look very much like hotel lobbies that are very attractive and allow a grieving family to experience a dignified cremation ceremony. The experience we create today mirrors the experience of a graveside burial, set in a very comfortable decor with family and friends being able to bid farewell, knowing that they have memorialized their loved ones with grace and dignity as they make their final journey. Allowing family and friends to have closure in a time of grief ensures that they have said goodbye. The days of backyard garages hidden from view is in the past and we now take pride in honoring the ones we love.

The following are some pictures of crematories that Facultatieve Technologies the Americas have built in the past couple of years:

Families First – Windsor, Ontario



Lakeshore Funeral Home – Waco, TX



Facultatieve Technologies The Americas Inc.

Facultatieve Technologies is a member of 'the Facultatieve Group'

Additional Installations:



Oakey's Funeral Home – Roanoke, VA



Baue Funeral Home – St. Louis, MO



Mt. Auburn Cemetery – Cambridge, MA



Hart's Funeral Home – Macon, GA

Environmental Impact

The United States Environmental Protection Agency (EPA) has mandatory regulations in place regarding air quality standards. However, each state sets its own EPA Regulatory Standards which determine the amount of air emissions that can be permitted to be released from crematories. Therefore, each crematory prior to the installation of any cremation equipment must provide scientific documentation (stack test results) that the equipment will operate below emission thresholds. The emissions that are normally addressed are Particulates, Oxygen, Carbon Dioxide, Chromium, Carbon Monoxide, Nitrogen Oxide and Mercury. Stack testing is performed by third party accredited companies with local EPA representatives on-site during the testing and results are directly reported to the local state authority. Once it has been determined that the cremator meets all regulations, a permit to operate is issued.

As to the results from Facultatieve Technologies cremators, with numerous testings of emissions by independent third party contractors our cremators not only meet all of the requirements specified by United States Environmental Protection Agency and the State of California EPA – Division of Air Pollution, but we surpass the clean air requirements due to the dynamic design of our cremation equipment. Unlike other manufacturers, Facultatieve Technologies is proactive in our standard engineering designs of this cremator providing a secondary combustion zone, which maintains the flue gas temperature greater than 1600°F for a time of greater than 2 seconds during operation, with oxygen content of greater than 6%.

The rumors that crematories cause cancer, asthma, or any other illnesses are unfounded. Additionally, rumors of body parts coming out of the exhaust stack is totally ridiculous and there is no possibility of this ever happening.

Smoke – Odor - Noise

Besides the environmental impact of a crematory, these three (3) subjects are always the most asked questions from the community. Yes, they need to be answered, however the answers are based upon scientific studies and the results are available upon request. The following is a synopsis of each of the three (3) subjects.

Smoke:

The Facultatieve Technologies (FT) Cremator for this project has been designed to ensure that a finite control of the cremation (combustion) process is maintained by a combination of computer controls and an oxygen monitoring and modification system. By maintaining a balance of temperature, fuel, and oxygen electronically, the chance of the cremator smoking is negated. In addition, Facultatieve Technologies utilizes an Induced Draft System meaning that the cremator under-pressure is constantly measured and controlled by the addition of a cooling air volume into the hot flue gases via a Facultatieve Technologies designed **Coanda** ejector located in the cremator waste gas outlet.

The volume of ejector air is constantly modulated by a variable speed inverter-controlled ejector fan motor, the speed of the fan (hence the level of draft) is controlled by the cremators PLC control system. Additionally, a pressure sensor controller continually monitors any overpressure condition within the cremators' primary chamber. On detection of overpressure the combustion air to cremator is automatically turned off so that the combustion rate within the cremator is rapidly reduced. What this means is that we provide finite control of the combustion process and thus the possibility of smoke and particulate matter is reduced.

To further explain, the cremator has two chambers with individual combustion systems. The primary chamber which is where the cremation process is completed, and the secondary chamber is where the emissions (gases /products of combustion) pass and are diluted to acceptable levels prior to being released to the exhaust stack. There are minimum retention times that the emissions must reside in the secondary chamber prior to the release of the emission to the exhaust stack and these are mandated per regulatory regulations within the state permit to allow the operation of the equipment. The retention of the exhaust gases ensure that the dilution of emissions is met so that the vapors released from the exhaust stack contain no harmful emissions.

Smoke is the result of incomplete combustion and not maintaining a balance of fuel, oxygen, and temperature. As stated above, Facultatieve Technologies provides a finite control of balancing these three components ensuring that smoke is not released to the atmosphere. The only time the cremator would smoke is if power was lost. It compares to trying to stop your car if your brake line broke.

Odors:

Like smoke, odors being produced during the cremation process have always been a concern by homes and businesses located near a crematory. The elimination of the possibility of any odors from the cremation process is very simple if the properties of complete combustion are followed. If the principals of combustion during the cremation process are not properly completed there is the possibility of an odor. As described earlier, Facultatieve Technologies provides a finite computer control of the combustion process by utilizing an oxygen sensing and modulation system to balance the three components of combustion: oxygen, fuel, and temperature. The oxygen within the cremator is continuously adjusted automatically via five (5) air valves that ensure that the correct combustion balance is produced, and cremation of the human corpse is complete and therefore eliminates the possibility of odors being released from the cremator.

Facultatieve Technologies has performed scientific testing for odors based upon the following regulators:

- EPA 40CFR60 – United States EPA
- EPS – Environment Canada's Environmental Protection Series
- OSTC – Ontario Source Testing Code

All Facultatieve Technologies installed cremation systems are subject to registration and permit to operate approval with most state and governmental Environmental Protection Agencies prior to installation and operation of a human cremation system.

Noise:

Facultatieve Technologies (FT) has performed decibel readings for all our cremation systems equipment. FT cremators have been internally documented at 78 – 82 dBA within 3 feet of the cremation unit. The only noise that is produced from the cremator is from the blower system which we place in a sound reduction cabinet allowing for the very low decibel readings that average 80dBA. 90 dBA is the maximum permissible worker noise exposure, therefore the average of 80 dBA within the workplace is below the "OSHA trigger" and is not a matter of concern.

As stated above the fans are enclosed in a sound reduction cabinet lined with a lead blanket (reduction of low frequencies) and a high-density foam (reduction of middle to high frequencies). As a reference, you can easily speak on a cell phone standing directly next to the cremator.

In addition to internal documentation of crematory sound levels, FT has engaged a third-party acoustics testing company to provide scientific documentation of noise created by the cremator while in operation. Their results indicated that the FT Cremator will produce noise levels of 60 dBA to 65 dBA immediately outside the crematory building. On a typical Class C property, this level will not even be audible, due to the ambient noise already present from neighboring operations. Upon request we would be happy to share the documentation.

Facultatieve Technologies the Company:

Facultatieve Technologies is an International Corporation with our Corporate Headquarters located in The Hague, Netherlands and engineering and manufacturing facilities in Leeds, England and Medina, Ohio. The Medina, Ohio facility is responsible for all manufacturing all cremation systems for the North American market.

Our corporate approach to the design, engineering, and manufacturing cremation system equipment is based on the following three principals:

- 🔒 **SAFETY** – The safety of the operators of the equipment, the employees of the company, and the community where the equipment is located.
- 🌱 **ENVIRONMENTAL COMPLIANCE** – We strive to provide products that reduce the emissions to a safe level for not only the crematory location, but the communities it is located in and around. Furthermore, we have developed filtration systems capable of reducing the output of emissions by more than 99%. We currently have more than 400 of these abatement systems operating in the European Community and 4 units operating in North America. At this time, filtration of crematories is not required anywhere in North America due to the restrictive emissions requirements to receive operational permits.
- 🔋 **REDUCTION OF THE USE OF FOSSIL FUELS** – Protecting the environment by reducing the use of fossil fuels. Our designs have proven to save as much as 65% of fuels such as natural gas and propane when compared to our competitor's equipment. We utilize low energy gas valves and variable speed inverters on all motors to greatly reduce the consumption of electrical energy.

In line with our commitment to safety, all Facultatieve Technologies Cremation System Equipment is built to the following Approval Standards:

Underwriters Laboratories

UL 2790, Standard for Commercial Incinerators, 1st Edition, Revised 10/08/2014

UL 795, Standard for Commercial-industrial Gas Heating Equipment, 8th Edition

UL 295, Standard for Commercial-industrial Gas Burners, 2nd Edition, Revised 08/22/2019

UL 508A, Standard for Industrial Control Panels, 3rd Edition, Revised 07/03/2018

National Fire Protection Agency

NFPA 211, Standard for Chimneys, Fireplaces, Vents, and Solid Fuel Burning Appliances

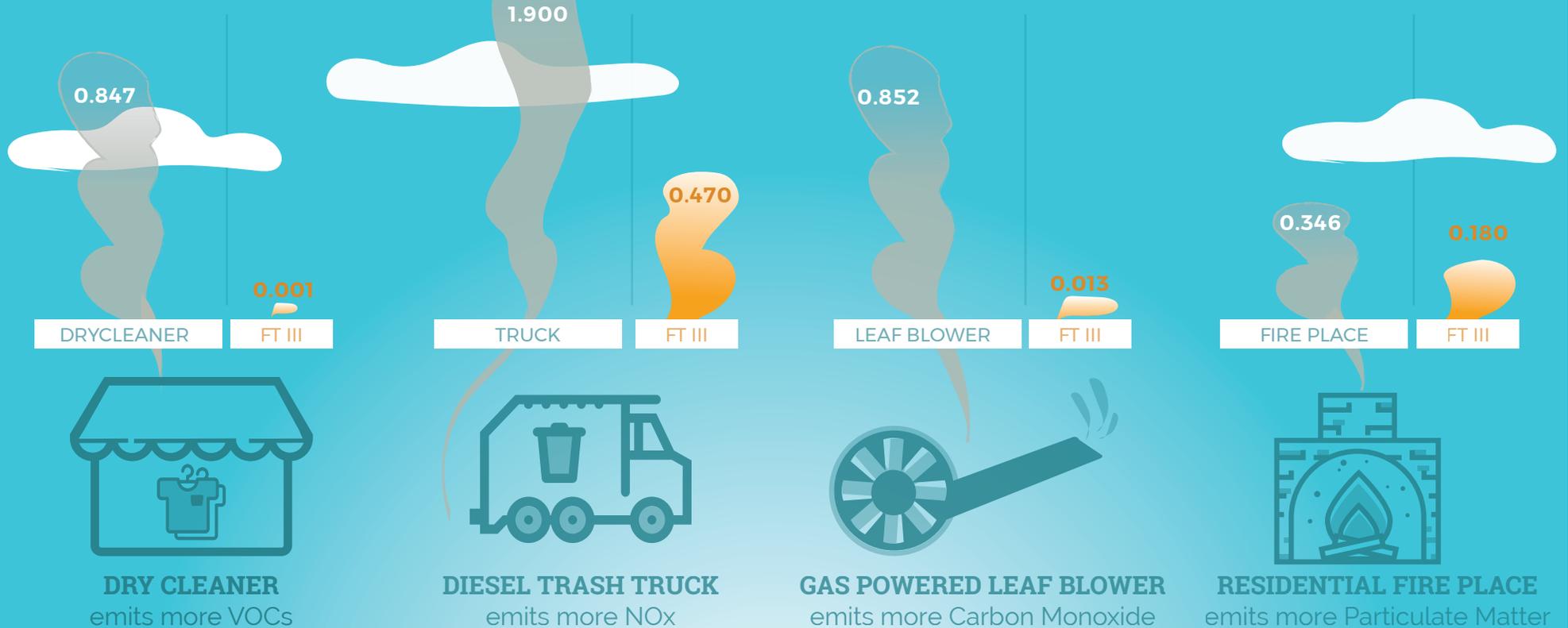
(FT is the only manufacturer in the world building our exhaust stacks to this standard)

How Does a Facultative Technologies FT III Cremator Compare to Other Common Sources?



When compared to other common neighborhood equipment, the FT III cremator emits fewer pounds per hour of pollutants than most common sources.

ALL DATA PRESENTED IN LBS/HR



Facultative Technologies The Americas Inc.

Facultative Technologies is a member of 'the Facultative Group'

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Data sourced by Geolnsight Inc. geolnsight.com

What are VOC's

Volatile Organic Compounds, more commonly known as VOC's, include a variety of chemicals found in many common products. VOC's are emitted as gases from liquids or solids.

What products commonly contain VOC's; cleaning supplies, paint strippers, paints & lacquers, copiers and printers, glues and adhesives, air fresheners, photographic solutions, permanent markers, correction fluids, pesticides, carpet and rugs and many building materials and furnishing.

So what does VOC's have to do with cremation? Simply, the container that the deceased is cremated in can contain some VOC's including glues and adhesives as well as paint or lacquers. The United States Environmental Protection Agency conducted a series of studies called the Total Exposure Assessment Methodology (TEAM), and found the levels of at least 12 commonly used volatile organic compounds to be two to five times higher in homes than outside.

As our chart illustrates; the amount of VOC's emitted from the FT III Cremator is more than **800 times less** the average dry cleaning plant which are located throughout most communities.

What is NO_x?

NO_x is a generic term for the nitrogen oxides that are most relevant for air pollution, namely nitric oxide (NO) and nitrogen dioxide (NO₂). These gases contribute to the formation of smog and acid rain, as well as tropospheric ozone.

NO_x gases are usually produced from the reaction among nitrogen and oxygen during combustion of fuels, such as hydrocarbons, in air; especially at high temperatures, such as occur in car engines. In areas of high motor vehicle traffic, such as in large cities, the nitrogen oxides emitted can be a significant source of air pollution. NO_x gases are also produced naturally by lightning which is estimated to produce more than 8 million tons of NO_x per year.

As our chart illustrates; the amount of NO_x emitted from the FT III Cremator is more than **4 times less** than diesel powered trash trucks that service households and businesses in the community every day.

What is Carbon Monoxide (CO)?

CO (Carbon Monoxide) is a colorless, odorless gas that can be harmful when inhaled in large amounts. CO is released when something is burned. The greatest sources of CO to outdoor air are cars, trucks and other vehicles or machinery that burn fossil fuels. A variety of items in your home such as unvented kerosene and gas space heaters, leaking chimneys and furnaces, and gas stoves also release CO and can affect air quality indoors. The Clean Air Act requires EPA to set national ambient air quality standards for carbon monoxide as one of the six criteria pollutants. The law also requires EPA to periodically review the standards and revise them if appropriate to ensure that they provide the requisite amount of health and environmental protection and to update those standards as necessary.

As our chart illustrates; the amount of CO emitted from the FT III Cremator is more than **65 times less** than the operation of a gas powered leaf blower.

What is Particulate Matter (PM)?

"Particulate matter," also known as particle pollution or PM, is a complex mixture of extremely small particles and liquid droplets. Particle pollution is made up of a number of components, including acids (such as nitrates and sulfates), organic chemicals, metals, and soil or dust particles. Particulate matter comes from many sources including smoke, dirt & dust from factories, farming, driving cars and trucks on roads, burning plants (brush / forest fires or yard waste), your home fireplace and even pollen.

As our chart illustrates; the amount of PM emitted from the FT III Cremator is more than **2 times less** than the operation of a residential fireplace.



Cremation & Incineration Equipment

FT The Americas – info.usa@facultatieve-technologies.com
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FT III Cremator



The FT III is the most advanced cremator in the world

The fully automated control system enables 75 minute cremations as an average with fully integrated combustion controls meeting the most stringent environmental standards without human intervention.

The integrated control system constantly adjusts and controls variables to reduce the gas consumption and electrical power usage.

The technical engineering of the FT III cremator offers a wide variety of options and possibilities in order to answer to your specific needs and/or building requirements.

The FTIII is a product that can be adapted for future changes in environmental standards and requirements such as filtration.

FT cremators are not only the most advanced but also the most cost efficient cremators on the market

The self diagnostic integrated software combined with our Online customer support offers our clients the best solutions.

The intuitive control and HMI (Human Machine Interface) system offers each client a customized reporting package which can be securely linked to your central administration facility.

- Average cremation times of 75 - 90 minutes.
- Daily operation: without limit 24 hours/day, no cooldown time between cremations (pursuant to local permitting)

www.facultatieve-technologies.com



On board SCADA package



Remote access standard

FT III

Specifications	
Installed Height:	10' 10" / Low Profile Design is less than 10'
Installed Width:	7' 1"
Length:	12' 8"
Weight:	32,000 lbs
Fuel:	Natural gas / LPG
Opening for installation:	Standard 8' wide x 9' tall
Daily operation:	Without limit 24 hours/day, no cooldown time between cremations (pursuant to local permitting)
Average cremation time:	75 - 90 minutes
Door opening	43" x 30"



Electrical Characteristics	
Combustion air fan:	1,200 cu.ft/min at 68°F, 7 HP
Ejector air fan:	1,200 cu.ft/min at 68°F, 7 HP
Electrical supply:	80 amps, 208-230 Volts, 60 Hz, three phase, 5 wire (3 line, 1 ground, 1 neutral) Or 100 amps, 208-230 Volts, 60 Hz, single phase



Fuel Characteristics	
Burner ratings: • Primary Burner: • Secondary Burner:	• 950,00 Btu/hr • 1,100,000 Btu/hr
Natural Gas Requirements	Minimum 2 psi @ 2.5 mm BtuH
LPG usage on request	

FT related products



FTUSA V2



Table Loader



HSC & ATC



Infant Charging Trolley



Ash Storage/Cooling rack



Cremation & Incineration Equipment

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Cremation & Incineration Equipment

TECHNICAL SPECIFICATIONS

FT II / FT III CREMATORS



Date: October 2017

US Manufactured FT II & FT III

E. Kassoff

Facultative Technologies The Americas, Inc.

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I.0 INTRODUCTION

The **FT II & FT III** Cremators' have been designed to cater to the specific needs of the modern day crematorium facility. The cremators' enable the proper disposal of coffins and human remains while complying with the necessary flue gas emission requirements and legislation of city, state and federal agencies.

These cremators have been specifically designed after many years of experience and research in this specialized field. In designing the cremators, we have minimized the necessary labor required to operate it, and therefore the simplicity of its design ensures easy operation.

The design of these cremators is very capable of reducing the body to a high quality inert ash in a very efficient manner.

I.1 The Advanced Technical Features of the FT II & FT III Cremator

- **Excellent environmental performance** - emissions conforming to current U.S.A. and other world standards.
- **Robust solid hearth** - providing single pass raking
- **Excellent extended hearth life.**
- **Highest quality refractory** - including 63% Alumina in areas of heavy wear.
- **Robust construction** - a design capable of 6 or more cremations per day with cremation times around 75 to 90 minutes are fully achievable.
- **One secondary combustion zone burner** to ensure a secondary zone temperature of 1600°F or 1800°F (required by local permitting), which can be maintained under all conditions of normal operation.
- **Aesthetically pleasing cabinet** with easily removable factory finished decorative covers.
- **Automatic control of air** - for both combustion and flue gas cooling purposes.
- **Advanced modern PLC control** to ensure optimum combustion conditions by continuously monitoring all combustion processes throughout each cremation.
- **Automatic control of suction.**
- **Automatic temperature control** of both primary and post combustion zones.
- **Automatic fail safe** against over temperature and pressure.
- **Compact design**, enabling easy installation.

2.0 ENVIRONMENTAL PERFORMANCE

The design of this cremator provides a secondary combustion zone, which maintains the flue gas temperature greater than 1600°F or 1800°F for a time of greater than 2 seconds during operation, with oxygen content of greater than 6%.

Similarly emissions of Carbon Monoxide will be less than 4.4 grains/100s ft³ at all time, as measured at reference conditions of 11% O₂, 1 atm, 32°F, dry.

3.0 **PROPOSED INSTALLATION**

The **FT II & FT III** Cremators' are of a modular design, which allows the user to pick and choose the options available.

The basic **FT II & FT III** cremator will consist of the following:

- Single or double end design
- Dedicated combustion air fan.
- Dedicated draft control system comprising of an ejector air fan and ejector system.
- Automatic PLC based control system in conjunction with:
 - ✓ Easy to use Human Machine Interface (HMI) in the form of a standard 15" Touch Screen incorporating a FT designed SCADA system and standard data logging package.
- Remote engineering support - via broadband connection.
- Stainless steel chimney

In addition, the following **options** may be considered:

- Remote location of combustion air fan and ejector fan.
- Automatic Cremation Container Loading Systems.
- Additional Flue Gas Monitoring Equipment – CO Analyzer, Opacity and Particulate monitors.

4.0 CREMATOR GENERAL DESCRIPTION

4.1 Principle of Operation

The cremator is comprised of a large primary chamber of generous proportions into which the cremation container is inserted and within which the primary combustion takes place. The hearth floor is lined with flat sillimanite tiles which are easily replaced when required. To keep the primary chamber entirely separate from the secondary chamber and avoid bypassing of the flue gases, the hearth itself contains no openings; this ensures that all materials are retained for combustion in the primary chamber. The waste gas produced from this phase of the process exits the primary chamber via transfer ports in the chamber sidewall, descending below the solid hearth into the secondary combustion zone in which the gas phase combustion takes place.

The gases enter this zone and are then heated if necessary by the secondary zone burner and treated by the introduction of additional air. The flue gases make numerous passes within the secondary combustion zone, where the temperature is maintained at the required combustion temperature of 1600°F or 1800°F (local permitting requirements). The two requirements of temperature and oxygen are met to ensure compliance to the local, state and federal environmental requirements. Feedback to the control system from the emissions monitoring equipment ensures close control is always maintained, resulting in low pollutant emissions and excellent fuel economy.

4.2 Primary Combustion Chamber

The primary chamber is equipped with a single Facultatieve Technologies designed burner located in the end wall and two independently controlled sets of air jets. The locations of the air jets are critical to maintain superior combustion properties are located as follows:

- Top air introduced along the top of primary combustion chamber.
- Side air introduced along the sidewall of the cremator slightly above the hearth.

4.3 Secondary Combustion Zone

The FT cremator benefits from a generously designed secondary combustion zone, 3.2m³. in volume, and is of sufficient size to ensure a flue gas residence time of 2 seconds at all times during operation.

The FT cremator is designed with a secondary combustion zone comprising a series of passes below and to one side of the primary chamber. One independently operated Facultatieve Technologies designed burner within this zone ensures that the temperature requirements are maintained while adequate supplies of secondary air and the tortuous flue path ensure high levels of turbulence to promote complete combustion.

The post combustion of the flue gases is completed within these high intensity areas, and thus all smells and smoke are eliminated. The design of the post combustion chambers ensures a lengthy, complex passage through the cremator prior to the flue gas exit.

4.4 Combustion System

The primary chamber burner has a maximum rating of 950,000 Btu/hr and this enables normal operating temperature in the range of 1470°F to be achieved in the primary chamber.

(The maximum allowable operating temperature is 2100°F).

The secondary combustion zone burner has a maximum rating of 1,100,000 Btu/hr enable temperatures of 1600°F or 1800°F (local permitting regulation) to be achieved in the secondary chamber as required by local, state and federal environmental regulations.

The primary and secondary burners are mounted at the rear of the cremator facilitating easy access for maintenance and repair.

The burners are configured for **full modulating control**, are ignited automatically and the burner system is protected against flame failure, thereby complying with the gas regulations outlined by NFPA and other North American agencies.

4.5 Control Valves and Instrumentation

The addition of combustion air to the combustion process is regulated by five modulating control valves, controlling the individual supply of air to each of the burners, primary chamber and to the secondary chamber.

The cremator primary chamber under-pressure condition is controlled via a differential pressure transducer, controlling the draft generation system and provides protection against system overpressures.

The primary chamber and secondary chamber temperatures are measured via type K thermocouples; temperatures are displayed on the interactive touch screen controller.

4.6 Combustion Air System

The cremator is supplied with combustion air by a dedicated fan designed to be capable of providing the required air pressure and flow for proper cremator operation. For higher operational efficiencies and reduced operational costs the fan is controlled by a variable speed inverter to ensure that the minimum of energy is used during the cremation process. The fan is located in an integrated enclosure within the cremators' decorative panelling and the enclosure is acoustically lined.

4.7 Induced Draft System - Cremator Under-pressure / Draft Generation

The cremator under-pressure is constantly measured and controlled by the addition of a cooling air volume into the hot flue gases via a Facultatieve Technologies designed **coanda** ejector located in the cremator waste gas outlet.

The volume of ejector air is constantly modulated by a variable speed inverter controlled ejector fan motor, the speed of the fan (hence the level of draft) is controlled by the cremators PLC control system.

Additionally, a pressure sensor controller continually monitors any overpressure condition within the cremators' primary chamber. On detection of overpressure the combustion air to cremator is automatically turned off so that the combustion rate within the cremator is rapidly reduced. On sustained overpressure, the cremator will go into abort mode until the cause of problem is identified (for example, this could be the failure of the ejector air supply).

This separate ejector fan is located in an integrated enclosure within the cremators' decorative panelling, which is acoustically lined.

4.8 Cremator Process Control – PLC Based

The cremator is supplied with a dedicated **Programmable Logic Controller (PLC)**; this controller supervises the operation of the cremator, the combustion process and automated loading (if utilized).

The cremators' control panel design is based upon a modern "*compact design*" PLC, complete with 32 digital inputs and 32 digital outputs in standard configuration with a maximum of 48 dependant on options fitted to each individual cremator. The programmable logic controller is preloaded with our dedicated control software program.

Facultatieve Technologies utilizes the Mitsubishi PLC and associated *Melsec* computer software for process control of the cremator.

Manufacturer: Mitsubishi
Base unit Type: FX3U – 64 MR

The PLC system has total control of the cremator and all its functions in order to complete the cremation process once the primary chamber has been charged. The requirement for operator assistance is negated, therefore simplifying the day to day operation of the cremator.

The PLC system automatically varies the combustion program according to charge cremation container type and body weight (selection by the operator prior to charging). The PLC system constantly monitors signal inputs from thermocouples, separate controllers, and gas analysers while controlling the combustion air levels, burner operation and draft control system. This ensures total control of the cremator at optimum performance levels, guaranteeing cremations times are reduced, fuel efficiently is increased and emission limits are adhered to.

The system also monitors for combustion and component faults, taking appropriate action as required and transmitting fault alarms to the operator display. Should the need arise; provision

has been included for manual override. Manual control of the cremator is then logged by the control system for verification of the process. However, the control system has specific software to safeguard the machine while under manual control preventing any dangerous situation from arising from incorrect manual operation.

The control enclosure, including the PLC system is located either on the rear or the side of the cremator. This location minimizes any of the effects that excess heat might cause and is adequately ventilated to ensure trouble free operation.

4.9 Operator Control Interface (H.M.I)

HMI Manufacturer	ELO Touchsystems
Model	I515L

The cremator is provided with a **Human - Machine Interface (H.M.I)** to enable the cremator operator to communicate with the cremator. The graphical interface is a liquid crystal alpha numeric display. This display comprises a backlit Liquid Crystal Display (LCD) which shows all aspects of the cremator thus allowing the operator access to observe and control the cremator operation. Inputs are via a membrane button keypad; this display unit is normally mounted near the charge door of the cremator. It can be remotely mounted to suit individual site requirements.

4.10 Personal Computer Based Control System Including Data Logging

The cremator is supplied with a personal computer (PC) for the operator to observe the operation of the cremator from a separate office area. This PC based control system is equipped with the Facultatieve Technologies industry leading control graphics package, and offers the added benefit of data logging and remote engineering support via a computer link.

The PC is equipped with the following software preinstalled:

- Microsoft Windows 10 operating system
- Opsoft for Windows
- Integrated graphics package
- Remote computer access software such as Team Viewer

For the above control interface, the PLC system communicates with the computer system, thereby allowing the use of our Opsoft graphics package to operate a **Supervisory Control And Data Acquisition system** – known as **SCADA**.

The software control program includes automatic data logging and this information is used to automatically generate a report in a format agreed by the Environmental Authorities and requires no further manipulation by the operator.

4.11 Cremator Process Control – Safety Features

The burner safety systems are housed separately from the burners. They comprise of flame failure safety relays connected to a flame rectification type probe to monitor "start" flame and "main" flame. In the event that there is a flame failure in either the main burner or afterburner, these units will automatically shut off the gas and air supply valves. This will prevent burner ignition if any of the safety circuits are not energized.

An additional safety feature utilizes separate gas and air pressure switches which will shut off the burners if the air supply or gas pressure falls below or above pre-determined safety levels.

Electrical interlocks prevent the charging door being opened for the introduction of a coffin unless the temperature in the secondary combustion zone exceeds the minimum local requirement (typically 1600°F - 1800°F). For additional safety, the charging door will only partially open during the de-ashing procedure.

The cremator is equipped with an automatic suction control to maintain a pre-set suction condition within the primary chamber for all normal combustion conditions. This is achieved by the dedicated ejector fan.

4.12 Remote Engineering Support

To enable remote engineering support, the standard PLC control system is supplied with an industrial type computer modem, which enables remote observation of cremator parameters, retrieval and analysis of cremator emission data. This enables the cremator to be observed remotely by our technicians to resolve operating issues without the initial requirement to visit the site to rectify the problem. In addition, current cremator units operating in the field have allowed the modem to allow offsite maintenance scheduling and system management as well as remote monitoring of performance with Facultatieve Technologies technicians.

4.13 Flue Gas Monitoring

The *FT II* and *FT III* cremators are supplied with an oxygen analyzer (detailed below), The oxygen analyzer is connected to the PLC system and displayed on the Cremator control screen for easy reference by the operator.

4.13.1 Oxygen Analysis System

Principle of operation	Zirconia based
Manufacturer	Fuji Electric
Analyser Model Type	ZRM
Detector Model	Type ZFK 2

Complete with high temperature stainless steel flow guide tube, suitable for high temperature operation.

The standard configuration above provides for the continuous monitoring of:

- Oxygen.
- Primary chamber temperature.
- Secondary combustion chamber temperature.

4.13.2 Oxygen & Carbon Monoxide Monitor (optional)

Manufacturer	Land Combustion
Model	FGA 930

4.13.3 Oxygen & Carbon Monoxide Analysis System (optional)

This is based upon the Siemens Ultramat 23 Analyser utilising extractive flue gas sampling and conditioning. The Siemens Ultramat 23 has a fast response electrochemical cell for Oxygen detection and uses infra-red for carbon monoxide detection.

5.0 CREMATOR CONSTRUCTION DESCRIPTION

5.1 Shell and Framework

The shell and framework of the cremator is fabricated of steel plate and sectional steel construction, braced for rigidity, to properly support the refractory and insulating materials with which the shell is lined.

The overall external dimensions of the cremator are:

	FT II Cremator		FT III Cremator	
	Single end	Double end	Single end	Double end
Length	12' 8"	12' 5"	12' 8"	12' 5"
Width	7'	7'	7' 1"	7' 1"
Height	8' 1"	8' 1"	8' 1"	8' 1"
Height over door gear	10' 10"	10' 10"	10' 10"	10' 10"
Weight	32,000 lbs.	34,000 lbs.	32,500 lbs.	34,500 lbs.

5.2 Cremator Charging Door

The insulating brick lined charge door is located at the front of the cremator, counterbalanced and suspended on precision roller chains for ease of operation. Operation is by means of the adjacent push buttons, which controls the electric motor via a variable frequency drive. The primary chamber door is interlocked to prevent charging unless the secondary combustion chamber temperature is above the minimum regulated temperature (typically 1600°F - 1800°F). The door opens to the full dimensions of the primary chamber allowing for maximum coffin size. **Please note;** a manual door override is standard which allows the charge door to be opened in the event that there is a motor/inverter failure.

The dimensions of the charging door opening are:

	FT II Cremator		FT III Cremator	
	Single end	Double end	Single end	Double end
Width	35"	35"	43"	43"
Height	30"	30"	30"	30"

The **recommended maximum** size of cremation container which can be inserted into the machine is:

	FT II Cremator		FT III Cremator	
	Single end	Double end	Single end	Double end
Length	92"	92"	92"	92"
Width	33"	33"	41"	41"
Height	28"	28"	28"	28"

Note:

With cremation containers longer than 7' 0" please refer to Operations Manual instructions for "special loading" instructions (or contact Facultatieve Technologies directly) when utilizing any FT supplied Automated Loading devices.

5.3 Ash Removal

5.3.1 Single Ended Cremator

Access for raking on single ended units is through the charging door. At the end of the cremation, the door is opened to a safe, partially open position and the suction fan is energized which protects the operator from the radiant heat. The door is operated by a pushbutton and door height is controlled by PLC control system. **Please note**; a manual door override is standard which allows the charge door to be opened in the event that there is a motor/inverter failure.

5.3.2 Double Ended Cremator

Access for raking on double ended units is through a dedicated rear ash door. At the end of the cremation, the door is opened by pushbutton operation to its fully open position, giving the operator easy access to the cremated remains. This door is designed and installed in a similar manner to the charging door. In the open position, the access opening is 9” high x 13” wide. **Please note**; a manual door override is standard which allows the charge door to be opened in the event that there is a motor/inverter failure.

In both of the above designs, the ash is raked and moved directly to the integral ash chute into a refractory lined ash box positioned below the ash out door. While within the refractory lined ash box, ashes are cooled automatically by a flow of air supplied by cremator blower system. The cooled ashes can then be dropped into the removable stainless ash box, by manually opening the cast iron slide plate. The ashes can then be removed from the cremator and transported for processing.

5.4 Access for Maintenance

The requirement of access for maintenance has been carefully considered in the cremator design, and easy removable panels have been provided for the cleaning out of accumulations of ash in any of the chambers and flue passages. Access ports to the secondary chamber and flue are provided for this purpose.

5.5 External Finish

Externally, the cremator shell is clad with pre-finished powder coated panels before leaving our production facility. Consequently, no additional finishing of these items is required and they are a distinctive feature of the cremator.

As well as giving the cremator a pleasing appearance, the panels ensure operator safety, by preventing any hot surfaces from being touched. The panels ensure a gap of air between the internal cremator shell and the external surfaces. This greatly reduces the external surface temperatures experienced.

The charging door at the front of the cremator as well as the rear ashing out door on double ended models are faced with stainless steel surrounded by a stainless steel bezel.

5.3 Refractory Materials

5.6.1 Refractory Lining

The Brick / Refractory lining is of superior quality, comprising fire-brick, backed by calcium silicate insulation and micro-porous insulating materials.

Location of refractory in cremator	Quality of refractory (Alumina content)	Thermal conductivity (W/m °C)	Bulk density (g/cm ³)	Maximum operating temperature (°F)
Used in areas of high turbulence	63%	2.0	2.25	2915
Used in cremator sidewalls	42%	1.9	2.25	2552
Used in cremator hearth	65%	1.62	2.45	2915
Castable refractory used for burner throat, lintels and outlet port	50%	N/A	2.37	2915
Ash chute	50%	N/A	2.37	2552

5.6.2 High Quality Insulation

Type and location of insulation	Insulation thickness (in.)	Thermal conductivity (W/m °C)	Bulk density (g/cm ³)	Maximum operating temperature (°F)
Calcium Silicate Insulation used in the areas around and between the refractory and the steel casing	2.00" - 3.00"	0.10	0.2	2012
High grade micro-porous insulation included within the insulation layers between the steel casing and the internal refractory	1.00" - 2.00"	0.3	0.3 to 0.35	2012

The quality and thickness of the insulation materials used in the construction of the cremator are such that the exterior shell is kept at a safe temperature for the operators at all times.

6.5 Cremation Capacity

This design of cremator is robust, and can perform up to **8 cremations per normal working day** (10 hours); however, it is fully capable of operating for extended periods beyond “normal working hours”, as required.

6.6 Air Requirements

	Volume (ft ³ N/min)	Pressure (in. w.c.)	Motor (HP)	Manufacturer	Model
Combustion Air Fan	850(Design)	17.5	7.5	Cincinnati Fan	HP Series
Ejector Air Fan	300 (Min) 1500 (Max)	19	7.5	Cincinnati Fan	HP Series

	Modulating flow	
	Max flow (ft ³ N/min)	Min flow (ft ³ N/min)
Combustion air to primary chamber	300	0
Secondary chamber air	500	0

Air fan frequency inverter variable speed controller:

Manufacturer Allen Bradley
Model Power Flex 40

6.7 Cremator Process Data

	Temperatures (°F)		Static Under-Pressure
	Max	Min	
Primary chamber	2100	1380	-0.025 to 0.275” w.c.
Secondary chamber	2100	1600	N/A

Note: Primary chamber temperature and pressure varies with progress of cremation.

6.8 Flue Gas Conditions

	Condition
Flue gas temperature	1600°F - 1800°F
Content of carbon monoxide Typical content over the cremation	<2.5 grains /s ft ³ (Using natural gas fuel)
Flue gas particulate content (Typically)	<4.5 grains /s ft ³

Gas sampling for combustion control of flue gases is made in the exit duct of the cremator.

All above figures are given at reference conditions of 32F, 1 atm, dry, 11 % vol/vol oxygen

6.9 Cremator Heat Loss

Although fabricated from the highest quality refractory and insulating materials, the cremator will lose heat to its surrounding environment. This heat loss is via convection, from all its surfaces, and is calculated at 50,000 Btu/hr at maximum.

6.10 Cremator Control / Instruments

Thermocouples

Primary chamber	No 1	Type K - Ni / Cr Element
Secondary chamber	No 1	Type K - Ni / Cr Element
Chimney	No 1	Type K - Ni / Cr Element

Each of the above probes is connected to an indicator mounted on the control panel for visual indication of all process values.

	Manufacturer	Type
Primary chamber pressure controller	Dwyer	DH II Digihelic
Cremator air valve motors	Kromschroder OR Siemens	IC 40 SQM 40

Facultative Technologies has a policy of continuous improvement, and therefore reserve the right to amend this technical specification without prior notice.



Cremation & Incineration Equipment

INSTALLATION SPECIFICATIONS

FT III CREMATORS



Date October 2018

US Manufactured FT II

E. Kassoff

Facultative Technologies The Americas, Inc.

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MATERIALS TO BE CREMATED: Humans and miscellaneous waste from embalming

MAXIMUM CHARGE SIZE: 1,200 lbs at 43" Maximum Width

CREMATION RATE: 150 – 200 lbs/hr

CYCLE TIMES: Preheat Time per Day Average: 35 minutes
Normal Cremation Time: 75 - 90 Minutes

UTILITIES:

FUEL: Natural Gas or Propane – 2.1 million Btu/hr

Required Pressure – 2 PSI Minimum

1 ½" Gas Line Required to Cremator from Rotary Gas Meter

ELECTRICAL SERVICE: 208 - 230V, 3 PHASE, 60 Hz

80 Amp service (standard)

5 Wire Service / 3 hot legs, 1 ground, and 1 neutral properly bonded in feeding breaker panel

OPTIONAL: 208 - 230V, 1 PHASE, 60 Hz

100 Amp service (standard)

4 Wire Service / 2 hot legs, 1 ground, and 1 neutral properly bonded in feeding breaker panel

OUTSIDE DIMENSIONS:

Single Ender 12' 8" L x 7' 1/2" W x 10' 10" H
Lowest point to rig cremator into building 9' 3"

Double Ender 12' 6" L x 7' 2" W x 10' 10" H
Lowest point to rig cremator into building 9' 3"

With Optional Auto-Loader (single ender) Add 12' to Length in Front of Cremator

With Optional Auto-Loader (double ender) Add 12' to Length in Front of Cremator

CLEANOUT:

Single ender Add 12' to Length in Front of Cremator

Double Ender Add 12' to Length in Rear of Cremator

CLEARANCE AROUND CREMATOR:

- ❖ Cremator can be placed within 6 inches to a combustibile wall.
- ❖ Minimum 3 feet in rear of cremator for single ender and 12 feet in rear for double ender.
- ❖ Maintain a minimum of 12 feet in front of cremator for either single or double ender

RECOMMENDED CONCRETE PAD: 15' L x 10' W x 6" thick rebar reinforced concrete

LOADING EQUIPMENT:

FT Automatic Insertion Loader Requires Extra 12' Clearance in Front of Cremator
Lateral 10' of Movement
Guide Track Mounted into front of cremator

PRIMARY CHAMBER:

Shell: ¼" steel plate walls reinforced with structural angle and channel.

All seams are continuous welded.

Hearth Area:

Single Ender 43" Wide x 110" Long

Double Ender 43" Wide x 98" Long

Operating Temperature: Ambient to 2,000° F

Primary Burner: Facultatieve Technologies Designed Burner
850,000 Btu Maximum

Fully Modulating Air and Gas

Charge Door Opening: 43" Wide x 33" High

Thermocouple: 18" Type K Stainless Steel

SECONDARY CHAMBER:

Retention Time: Minimum - Full 2 Seconds

After Burner: Facultatieve Technologies Designed Burner
1,200,000 Btu Maximum

Fully Modulating Air and Gas

Thermocouples: 18" Type K Stainless Steel

Secondary Air: Fully Modulating Valve controlled by PLC

CHIMNEY:

STACK:

11 Gauge Stainless Steel (No Lining)

Minimum of One 10' Section Used For Flue Gas

- 🔥 Exhaust ducting is wrapped in 2" ceramic fiber and 2" of rock wool insulation covered with aluminum cladding to insure minimal heat released to the inside of the crematory.
- 🔥 **Minimum roof penetration opening 44 in. square**

Thermocouple on Stack

1 Surface Mounted Type K

WEATHER PROTECTION:

- Includes Insulated Thimble to protect wood trusses and drywall from heat
- Includes Roof Flashing and Ring to wrap around stack to keep weather out

PAINT AND PREPARATION:

All exterior metal parts are machine tool cleaned and painted with 2 coats of High Temperature Gray Paint

DECORATIVE CLADDING:

Removable 16 Gauge Panels on Sides

Hinged 16 Gauge Panels 1" Deep on Front and Rear (*on double ender only*)

Powder Coated Finish

BLOWERS:

Standard - Interconnected to Cremator

See below for remote blower installation

COMBUSTION AIR BLOWER:

20 Amp / 7.5 Horsepower

Motor "Variable Frequency Drive" Controlled

1200 CFM Intake Air

EDUCTOR BLOWER:

20 Amp / 7.5 Horsepower

Motor "Variable Frequency Drive" Controlled

1200 CFM Intake Air

GAS PIPING:

The cremator will be completely piped and pre-assembled for shop testing. There will be a 1½" NPT union for the gas service connection on the rear of the cremator.

WIRING:

The entire retort will be pre-wired and tested at our shop prior to shipment. Wiring upon installation only requires one main service to the control panel.

Remote Blowers:

The remote location of the blower cabinet will require the electrical contractor to provide inter-connecting wiring between the blowers and cremator. The blower housing contains two (2) blowers; one each for combustion and for one to provide suction / draft for the cremation process. Therefore, the blower housing requires two (2) sets of wires (4 wires- 3 hot/1ground) in separate conduits for the fans to properly operate.

In addition, your local city may require disconnects placed at the blowers. Please check with your local city code department to see what the requirement may be. The blower motors are 7.5 HP each and require 20 amp service. Facultatieve Technologies technician will make final connections of this wiring between the blowers and cremators.

If remote blowers are placed outside, they must be placed in a waterproof enclosure prior to commissioning of the system.

CONTROLS & INSTRUMENTATION:

All of the controls and instrumentation will be mounted in a NEMA 4 control panel (UL 508A Approved).

Cremation Controls:	PLC Controlled - No Operator Manual Control Required During Cremation
Interface:	Computer with 15" Touch Screen Controls for Operator ease of use
Temperature Recording:	Computer will continuously record Primary, Secondary, and Flue Temperatures for easy monitoring and access

ESTIMATED SHIPPING WEIGHT: 32,000 lbs for Cremator plus Stack

Facultatieve Technologies has a policy of continuous improvement, and therefore reserve the right to amend this technical specification without prior notice.

EXHIBIT B

A-Z Counties & Cities

California Counties by Population

California Counties by Population

Get a list of California counties by population. The data is from the US Census. Below are 58 California counties ranked 1 through 58.

(15 counties do not have crematories)

Rank	County	Population	# of Crematories	# of Crematories per person
1	Los Angeles County	10,170,292	27	376,677.481
2	San Diego County	3,299,521	5	659,904.2
3	Orange County	3,169,776	13	243,828.923
4	Riverside County	2,361,026	15	157,401.733
5	San Bernardino County	2,128,133	11	193,466.636
6	Santa Clara County	1,918,044	6	319,674
7	Alameda County	1,638,215	14	117,015.357
8	Sacramento County	1,501,335	14	107,238.214
9	Contra Costa County	1,126,745	5	225,349
10	Fresno County	974,861	9	108,317.889
11	Kern County	882,176	8	110,272
12	San Francisco County	864,816	0	
13	Ventura County	850,536	3	283,512
14	San Mateo County	765,135	4	191,283.75
15	San Joaquin County	726,106	5	145,221.2
16	Stanislaus County	538,388	5	107,677.6
17	Sonoma County	502,146	8	62,768.25
18	Tulare County	459,863	4	114,965.75
19	Santa Barbara County	444,769	4	111,192.25
20	Solano County	436,092	4	109,023
21	Monterey County	433,898	4	108,474.5
22	Placer County	375,391	0	
23	San Luis Obispo County	281,401	6	46,900.167
24	Santa Cruz County	274,146	3	91,382
25	Merced County	268,455	2	134,227.5
26	Marin County	261,221	3	87,073.667
27	Butte County	225,411	5	45,082.2
28	Yolo County	213,016	0	
29	El Dorado County	184,452	2	92,226
30	Imperial County	180,191	2	90,095.5
31	Shasta County	179,533	4	44,883.25
32	Madera County	154,998	0	
33	Kings County	150,965	0	
34	Napa County	142,456	1	142,456
35	Humboldt County	135,727	2	67,863.5
36	Nevada County	98,877	3	32,959
37	Sutter County	96,463	2	48,231.5
38	Mendocino County	87,649	4	21,912.25
39	Yuba County	74,492	2	37,246
40	Lake County	64,591	2	32,295.5
41	Tehama County	63,308	1	63,308
42	San Benito County	58,792	1	58,792
43	Tuolumne County	53,709	1	53,709
44	Calaveras County	44,828	0	
45	Siskiyou County	43,554	2	21,777
46	Amador County	37,001	1	37,001
47	Lassen County	31,345	0	
48	Glenn County	28,017	0	
49	Del Norte County	27,254	1	27,254
50	Colusa County	21,482	0	
51	Plumas County	18,409	2	9,204.5
52	Inyo County	18,260	0	
53	Mariposa County	17,531	0	
54	Mono County	13,909	0	
55	Trinity County	13,069	1	13,069
56	Modoc County	8,965	0	
57	Sierra County	2,967	0	
58	Alpine County	1,110	0	

EXHIBIT C



Department of Consumer Affairs
Cemetery and Funeral Bureau

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Search



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Search Results for Crematory

This information is updated Monday through Friday - Last updated: FEB-02-2017

To see all the information for a licensee, click on the highlighted name. This will also include disciplinary actions if any are present.

Name	Type	Number	Status	Address	City	Zip	County
CORTEZ CREMATIONS AND FUNERAL SERVICES CORP.	CR	377	CLEAR	100 W 35TH STREET STE A	NATIONAL CITY	91950	SAN DIEGO
CREMATION SERVICES, INC	CR	75	CLEAR	2570 FORTUNE WAY	VISTA	92081	SAN DIEGO
CYPRESS VIEW CREMATORY	CR	133	CANCELLED	3953 IMPERIAL AVE	SAN DIEGO	92113	SAN DIEGO
CYPRESS VIEW CREMATORY	CR	368	CLEAR	3953 IMPERIAL AVE	SAN DIEGO	92113	SAN DIEGO
ETERNAL HILLS MEMORIAL PARK, MORTUARY & CREMATORY	CR	187	CLEAR	1999 EL CAMINO REAL	OCEANSIDE	92054	SAN DIEGO
GREENWOOD MEMORIAL PARK AND MORTUARY	CR	370	CLEAR	4300 IMPERIAL AVE	SAN DIEGO	92113	SAN DIEGO
GREENWOOD MEMORIAL PARK AND MORTUARY	CR	207	CANCELLED	4300 IMPERIAL AVE	SAN DIEGO	92113	SAN DIEGO
LENEDA INC	CR	27	CANCELLED	14065 HIGHWAY 8 BUSINESS	EL CAJON	92021	SAN DIEGO
UCSD BODY DONATION	CR	121	CLEAR	UC SAN DIEGO MEDICAL EDUCATION	LA JOLLA	920930627	SAN DIEGO

Records 1 to 9

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EXHIBIT D

CANA

2021 ANNUAL STATISTICS REPORT

A YEAR OF UNPRECEDENTED CREMATION NUMBERS AND CONTINUED PREDICTABLE GROWTH RATE



UNITED STATES

2
0
1
9

2,864,869
DEATHS

1,563,164
CREMATIONS

54.6%
CREMATION
RATE

2
0
2
0

3,358,697
DEATHS

1,844,164
CREMATIONS

56.1%
CREMATION
RATE

Source: CANA • www.cremationassociation.org



CANADA

2
0
1
9

285,173
DEATHS

205,988
CREMATIONS

72.2%
CREMATION
RATE

2
0
2
0

306,468
DEATHS

224,081
CREMATIONS

73.1%
CREMATION
RATE

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EXHIBIT E



FUNERAL CONVERGENCE

2018 Annual Report Case Total by Funeral Establishment San Diego County California

License	Funeral Establishment	City	Total	Cremation	Percent Cremation
2109	ABBAY CREMATION & FUNERAL SERVICE	EL CAJON	167	84	50.30%
1528	ACCUCARE CREMATION & FUNERALS	CARLSBAD	742	723	97.44%
2041	ACCUCARE CREMATION & FUNERALS	SAN DIEGO	226	218	96.46%
297	ALHISER COMER MORTUARY	ESCONDIDO	329	193	58.66%
1733	ALL FAITHS MORTUARY	SAN DIEGO	0	0	0.00%
2228	ALL SOULS CREMATION & BURIAL	CHULA VISTA	38	38	100.00%
1378	ALLEN BROTHERS MORTUARY - SAN MARCOS CHAPEL	SAN MARCOS	201	134	66.67%
1120	ALLEN BROTHERS MORTUARY-VISTA CHAPEL	VISTA	198	131	66.16%
2306	ALTAR FUNERAL HOME	SAN DIEGO	235	25	10.64%
1320	AM ISRAEL MORTUARY	SAN DIEGO	282	48	17.02%
1956	AMERICAN CREMATION SERVICE	ESCONDIDO	241	219	90.87%
1808	AMERICAN CREMATION SERVICE	CARLSBAD	200	182	91.00%
1752	AMERICAN CREMATION SERVICE	SAN DIEGO	631	617	97.78%
1329	ANDERSON - RAGSDALE MORTUARY	SAN DIEGO	173	58	33.53%
1658	AZTLAN MORTUARY	LA MESA	867	475	54.79%
2185	AZTLAN MORTUARY NORTH CO.	VISTA	0	0	0.00%
1370	BALBOA CREMATION SERVICE	SAN DIEGO	230	229	99.57%
1713	BAYVIEW CREMATORY & BURIAL SERVICE	CHULA VISTA	25	24	96.00%
1661	BAYVIEW CREMATORY AND BURIAL SERVICES	SAN DIEGO	395	350	88.61%
1424	BAYVIEW CREMATORY AND BURIAL SERVICES	SAN DIEGO	0	0	0.00%
816	BEARDSLEY-MITCHELL FUNERAL HOME	SAN DIEGO	91	33	36.26%
828	BERRY-BELL & HALL FALLBROOK MORTUARY	FALLBROOK	74	2	2.70%
1673	BISHOP MORTUARY	LEMON GROVE	126	44	34.92%
568	BONHAM BROS. & STEWART MORTUARY AND CREMATION SERVICE	RAMONA	173	137	79.19%
2057	CALI HOME FUNERAL SERVICES	SAN DIEGO	110	64	58.18%
1357	CALIFORNIA CREMATION & BURIAL CHAPEL	SAN DIEGO	239	188	78.66%
1689	CALIFORNIA CREMATION & BURIAL CHAPEL	NATIONAL CITY	284	148	52.11%
1624	CALIFORNIA FUNERAL ALTERNATIVES INC	ESCONDIDO	304	264	86.84%
1994	CALIFORNIA FUNERAL ALTERNATIVES, POWAY	POWAY	174	153	87.93%
2289	CARE CENTER CREMATION & BURIAL NORTH	ESCONDIDO	0	0	0.00%
2097	CARE CENTER CREMATION AND BURIAL	SAN DIEGO	285	248	87.02%
1126	CLAIREMONT MORTUARY	SAN DIEGO	295	197	66.78%
1682	COMMUNITY MORTUARY	CHULA VISTA	267	186	69.66%
941	CONRAD LEMON GROVE MORTUARY	LEMON GROVE	116	49	42.24%
2243	CORTEZ CREMATIONS & FUNERAL SERVICES	NATIONAL CITY	135	129	95.56%
1618	CREMATION SERVICES INC.	VISTA	594	583	98.15%
670	CYPRESS VIEW MAUSOLEUM, MORTUARY AND CREMATORY	SAN DIEGO	188	63	33.51%
1907	DIRECT CREMATION	SAN DIEGO	157	156	99.36%
2125	EAST COUNTY MORTUARY & CREMATION SERVICE	EL CAJON	388	218	56.19%
1022	EL CAJON MORTUARY AND CREMATION SERVICE	EL CAJON	530	176	33.21%
857	EL CAMINO MEMORIAL	ENCINITAS	182	130	71.43%
1260	EL CAMINO MEMORIAL	SAN DIEGO	854	351	41.10%
296	ERICKSON-ANDERSON MORTUARY	LA MESA	114	49	42.98%
234	ETERNAL HILLS MEMORIAL PARK, MORTUARY AND CREMATORY	OCEANSIDE	742	411	55.40%
1083	FEATHERINGILL MORTUARY COLLEGE CHAPEL	SAN DIEGO	751	563	74.97%

SAN DIEGO COUNTY 2

2188 FUNERALS YOUR WAY
 964 FUNERARIA DEL ANGEL CHULA VISTA
 284 FUNERARIA DEL ANGEL NATIONAL CITY
 2276 FUNERARIA LA PAZ
 1371 GLEN ABBEY MEMORIAL PARK AND MORTUARY
 790 GOODBODY MORTUARY
 843 GREENWOOD MEMORIAL PARK & MORTUARY
 2232 JOURNEY CARE
 2231 LA VISTA MORTUARY
 2198 LAKEPOINTE CREMATION AND BURIAL
 2009 LEGACY FUNERAL AND CREMATION CARE
 299 MCLEOD MORTUARY
 119 MERKLEY MITCHELL MORTUARY
 1929 MIRAMAR MEMORIAL SERVICES
 807 NATIONAL CITY-CHULA VISTA MORTUARY & CREMATION SERVICE
 1352 NEPTUNE SOCIETY OF SAN DIEGO
 1463 NORTH COUNTY CREMATION SERVICE
 253 OCEANSIDE MORTUARY
 815 PACIFIC BEACH-LA JOLLA CHAPEL
 795 PARIS FREDERICK MORTUARY & CREMATION SERVICE
 1195 POWAY-BERNARDO MORTUARY
 1746 PREFERRED CREMATION AND BURIAL
 1481 SAN DIEGO CREMATION SERVICE
 1964 SAN DIEGO FUNERAL SERVICE
 2310 SAN DIEGO MEMORIAL CHAPEL
 1272 TELOPHASE CREMATION SOCIETY
 1788 THRESHOLDS HOME AND FAMILY-DIRECTED FUNERALS
 1921 TRIDENT SOCIETY
 2144 TRINITY FUNERAL SERVICES
 2248 TRINITY FUNERAL SERVICES
 2110 VILLAGE CREMATION SERVICES, INC.

SAN DIEGO	218	211	96.79%
CHULA VISTA	380	122	32.11%
NATIONAL CITY	164	28	17.07%
SAN DIEGO	187	63	33.69%
BONITA	827	139	16.81%
SAN DIEGO	133	28	21.05%
SAN DIEGO	984	432	43.90%
SAN DIEGO	90	89	98.89%
NATIONAL CITY	139	42	30.22%
ESCONDIDO	32	28	87.50%
LA MESA	1274	713	55.97%
ESCONDIDO	148	82	55.41%
SAN DIEGO	127	48	37.80%
SAN DIEGO	167	51	30.54%
NATIONAL CITY	63	31	49.21%
EL CAJON	619	616	99.52%
SAN MARCOS	287	285	99.30%
OCEANSIDE	302	217	71.85%
SAN DIEGO	134	54	40.30%
EL CAJON	27	8	29.63%
POWAY	318	208	65.41%
SAN DIEGO	259	181	69.88%
SAN DIEGO	118	116	98.31%
SAN DIEGO	124	97	78.23%
EL CAJON	0	0	0.00%
SAN DIEGO	310	309	99.68%
SAN DIEGO	16	9	56.25%
SAN DIEGO	869	869	100.00%
SAN DIEGO	341	344	100.88%
CHULA VISTA	100	98	98.00%
CHULA VISTA	197	186	94.42%

California Deaths 2018
 California Cremations 2018

271255
 172479

For further information on these annual reports, to subscribe to our monthly or quarterly reports, or to obtain our archived reports, please contact Funeral Convergence at Info@FuneralConvergence.com

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FUNERAL CONVERGENCE P.O. Box 1571 Long Beach, California 90801-1571 ph: (831) 221-0075

**San Diego County Air Pollution Control District
Approved Crematoriums**

Business Name	Address	City	State	Zip Code
AA Sorrento Valley Pet Cemetery	10801 Sorrento Valley Road	San Diego	CA	92121
AAA Cremations	100 W 35th Street Suite A	National City	CA	91950
Cremation Services Inc	2570 Fortune Way	Vista	CA	92081
Cypress View Crematory	3953 Imperial Avenue	San Diego	CA	92113
Eternal Hills Cemetery Association	1999 El Camino Real	Oceanside	CA	92054
Friends Forever Inc	120 N Pacific Street #C-4	San Marcos	CA	92069
Greenwood Memorial Park	4300 Imperial Avenue	San Diego	CA	92113
La Vista Memorial Park	3191 Orange Street	National City	CA	91950
The Argen Corporation	6875 Nancy Ridge Drive Ste. D	San Diego	CA	92121
UCSD	9500 Gilman Drive Dept 0089	San Diego	CA	92093
US General Services Administration	405 Tecate Road	Tecate	CA	91980
West Coast Pet Memorial Services	8995 Crestmar Point	San Diego	CA	92121
West Coast Pet Memorial Services	423 N. Hale Avenue	Escondido	CA	92029

EAST COUNTY CREMATORIUM

CONDITIONAL USE PERMIT

1034 N. MAGNOLIA AVE.
EL CAJON CA 92020



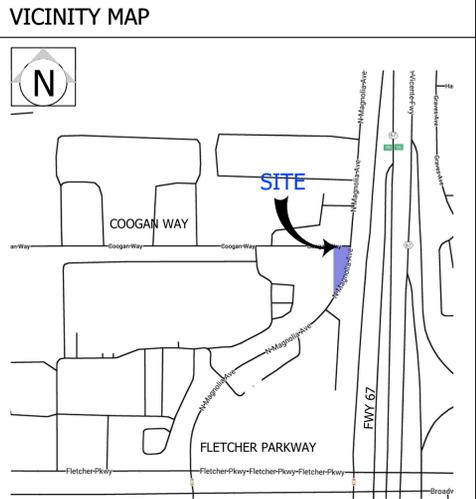
EAST COUNTY CREMATORIUM
 1034 NORTH MAGNOLIA AVENUE
 EL CAJON, CA 92020

SCALE
DRAWN BY JRT/KDG
DATE 3/28/2022

REVISIONS		
1	9/02/2022	RESUBMISSION

SHEET TITLE
TITLE SHEET / PROJECT INFO

SHEET NO.
T1.0



PROJECT DIRECTORY

APPLICANT / OWNER	NAME EAST COUNTY MORTUARY INC / ROBERT ZAKAR ADDRESS 1034 N. MAGNOLIA AVE. EL CAJON CA 92020 EMAIL ROBERTZAKAR@YAHOO.COM PHONE 619.654.7532
CONSULTANT	KANA DEVELOPMENT GROUP CONTACT MICHAEL AGUILAR ADDRESS 12620 MAGNOLIA AVENUE, RIVERSIDE, CA 92503 EMAIL MAGUILAR@KANADG.COM PHONE 714-986-1400 ext. 821
DESIGNER	12X16 DESIGN WORKSHOP CONTACT JONATHAN RAMIREZ-TORRERO ADDRESS 4211 GAMMA ST. SAN DIEGO CA 92113 EMAIL JONATHAN@12X16DESIGN.COM PHONE 619.940.0355
LANDSCAPE DESIGNER	LANDSCAPE LOGIC CONTACT TONY VITALE ADDRESS 4455 MORENA BLVD. #110 SAN DIEGO CA 92109 EMAIL TONY@MYLANDSCAPELOGIC.COM PHONE 619.446.6482

ABBREVIATIONS	DRAFTING SYMBOLS
AB ANCHOR BOLT ACUS ACOUSTICAL AC AIR CONDITIONING ADA AMERICAN DISABILITY ACT ADJ ADJUSTABLE AFF ABOVE FINISH FLOOR AGGR AGGREGATE ALUM ALUMINUM APPROX APPROXIMATE ARCH ARCHITECTURAL ASPH ASPHALT BD BOARD BIT BETWEEN BLK BLOCK BLKG BLOCKING BM BEAM BN BOUNDARY NAILING BOF BOTTOM OF FOOTING BOT BOTTOM BP BUILDING PAPER BRG BEARING BUR BUILT-UP ROOFING CAB CABINET CB CATCH BASIN CCK CHALKBOARD CDB CEMENT CBR CERAMIC CFR COUNTER FLASHING CLASH CLASH CHL CHAIN LINK CIB CAST IRON CIP CAST-IN-PLACE CJ CONTROL JOINT CL CENTERLINE CLG CEILING CLO CLOSET CLR CLEAR CMU CONCRETE MASONRY UNIT CNTR COUNTER CO CLEANOUT COL COLUMN COMP COMPRESSIBLE CONC CONCRETE CONCT CONSTRUCTION CONT CONTINUOUS COR CORNER CORR CORRUGATOR CPT CARPET CTR CENTER CTSK COUNTERSINK CW COLD WATER D DEWASH DA DOUBLE ACTING DB DOUBLE DEPT DEPARTMENT DET DETAIL DF DOUGLAS FIR DH DOUBLE HUNG DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DISP DISPENSER DN DOWN DR DOOR DS DOWNPOUT DWS DRAINWASHER DWG DRAWING DWR DRAWER ED EXISTING EA EACH EAG EXHAUST AIR GRILL EJ EXPANSION JOINT ELEC ELECTRICAL ELEV ELEVATION ENAM ENAMEL ENC ENCLOSURE EQ EQUAL EQUI EQUIPMENT EW EACH WAY EWC ELECTRIC WATER COOLER EWWM ELECTRICALLY WELDED EXH EXHAUST EXP EXPANSION EXT EXTERIOR FAU FORCED AIR UNIT FD FLOOR DRAIN FDN FOUNDATION FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FF FINISH FLOOR FFT FINISH FLOOR TRANSITION FG FINISH GRADE FGL FIBERGLASS FH FIRE HOSE FHC FIRE HOSE CABINET FIN FINISH FX FED FRT FEATURE FL FLOWLINE FLR FLOOR FLU FLUORESCENT FN FINISH NAIL FOC FACE OF CONCRETE FOF FACE OF FINISH FOM FACE OF MASONRY FOS FACE OF STUD FP FIREPLACE FR FINISH RATED FS FINISH SURFACE FT FOOT/FEET FTG FOOTING FUB FLOOR UTILITY BOX FURB FURRING FW FLAT WALL GA GAUGE GALV GALVANIZED GC GENERAL CONTRACTOR GFI GROUND FAULT CIRCUIT INTERRUPT GI GALVANIZED IRON GL GLASS GR GRADE GYP GYPSUM HB HOSE BIB HC HOLLOW CORE HERS HEADER HWND HARDWOOD HWK HARDWARE HGT HEIGHT HM HOLLOW METAL HORIZ HORIZONTAL HR HOUR HTG HEATING HTR HEATER HVAC HEATING, VENTILATING AND AIR CONDITIONING HW HOT WATER ID INSIDE DIAMETER IE INSERT ELEVATION IN INCH INCN INCONDUISCENT INCL INCLUDING INSUL INSULATION INT INTERIOR JAN JANITOR JST JOIST JT JOINT LAC LACQUER LAM LAMINATE LAW LAWYER LND LINDLEUM LP LOW POINT LVR LIVER LTC LIGHTING MACH MACHINE MCS MACHINERY MAT MATERIAL MCM MASONRY MB MACHINE BOLTS MC MEDICINE CABINET MECH MECHANICAL MEMB MEMBRANE MFR MANUFACTURER MH MANHOLE MIR MIRROR MISG MISCELLANEOUS MO MASONRY OPENING MOV MOVABLE MT METAL N NEW NAT NATURAL NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE O OVERALL OBS OBSOLETE OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OH OVERHANG OHD OVERHEAD DOOR OHG OVERHEAD GRILLE OPNG OPENING OPP OPPOSITE PA PLANTING AREA PC PRECAST PD WD PRESSED WOOD PPP PLASTIC FINISH PANEL PL PLASTIC PLAS PLASTER PLUM PLUMBER PLYWD PLYWOOD PNLG PANELING POC POCKET POL POLISHED PR PAIR PROP PROPERTY PT PRESSURE TREATED PTD PAINTED PTN PARTITION PVC POLYVINYL CHLORIDE QT QUARRY TILE QTY QUANTITY R RISER RAD RADIUS RAC RETURN AIR GRILLE RCP REINFORCED CONCRETE PIPE RD ROOF DRAIN REF REFERENCE REG REGISTER REIN REINFORCING REQ REQUIRED RESN RESIN RHWS ROUND HEAD WOOD SCREW RHV REMOVED RO ROUGH OPENING ROS ROUGH SAWN RS RESAWN RESL RESILIENT RUB RUBBER RW RIGHT-OF-WAY RWD REDWOOD SAP SHELF & POLE SAR SUPPLY AIR REGISTER SB SETBACK SC SOLID CORE SCHD SCHEDULE SCHN SCHEDULE SCIP SCUPPER SECT SECTION SH SHELF SHR SHOWER SHT SHEET SMT SMOOTH SM SHEET METAL SNDT SMOKE DETECTOR SPEC SPECIFICATION SQ SQUARE STL STEEL SSTL STAINLESS STEEL S SK SERVICE SINK STA STATION STD STANDARD STL STEEL STRK STORAGE STRUC STRUCTURAL SURP SUSPENDED SYN SYMMETRICAL T TREAD TBB TOP & BOTTOM TNG TONGUE AND GROOVE T/S TUB & SHOWER TB TOWEL BAR TBD TACKBOARD TC TOP OF CURB TDB TRENCH DRAIN TEL TELEPHONE TERR TERRAZZO TEXT TEXTURE THERMO THERMOSTAT THK THICK THRESH THRESHOLD TN THE NAIL TO TOP OF TOO TOP OF OBRAN TOP TOP OF FOOTING TOP TOP OF PARAPET TOR TOP OF ROOF TOS TOP OF SIDEWALK TOW TOP OF WALL TRT TREATED TS TOP OF SLAB TYP TYPICAL UC UPPER CABINET UNL UNLESS OTHERWISE NOTED UR UNDER OTHER SECTION URINAL URINAL VAR VARNISH VBR VAPOR BARRIER VCT VINYL COMPOSITION TILE VEST VERTICAL VEST VESTIBULE VF VENT IN FIELD VP VENEER PLASTER VTR VENT THROUGH ROOF VTV VINYL WALL COVERING W WASHER WJ WITH WID WITHOUT WC WATER CLOSET WOD WOOD WOW WINDOW WF WIDE FLANGE WGL WIRE GLASS WH WATER HEATER WIR WIREMESH WPR WATERPROOF WPI WEAPENED PLANE JOINT WSCOT WAINSCOT WT WEIGHT WUB WALL UTILITY BOX WWF WELDED WIRE FABRIC X AND < ANGLE " INCH ' FOOT @ AT # CHANNEL NUMBER Ø DIAMETER	

PROJECT DATA

PROJECT ADDRESS 1034 N. MAGNOLIA AVE. EL CAJON CA 92020
APN 483-071-29-00
YEAR BUILT 1975
LEGAL DESCRIPTION MAP 1674 - MAGNOLIA RANCH TRACT / LOT 13
OCCUPANCY GROUP A: CREMATORIUM WITNESS ROOM
 B: ALL OTHER ROOMS
CONSTRUCTION TYPE TYPE III A
NO. STORIES EXISTING 2
LOT SIZE 15,258 SF
EXISTING BUILDING AREA
 FIRST FLOOR 2,186 SF
 SECOND FLOOR 2,144 SF
TOTAL AREA EXISTING = 4,330 SF
PROPOSED BUILDING AREA
 FIRST FLOOR 2,186 SF
 CREMATORIUM REMODEL 2,186 SF
 PREPARATION ROOM/ HALLWAY/COOLER/ STORAGE ADDITION 515 SF
 SECOND FLOOR 2,125 SF [830 SF OF (E) AREA REDUCTION]
 CARETAKER QUARTER'S 666 SF
2-CAR GARAGE ADDITION 666 SF
TOTAL AREA OF REMODEL = 3,401 SF
TOTAL AREA OF ADDITION = 1,806 SF
PROPOSED GROSS FLOOR AREA = 5,207 SF

CONDITIONAL USE PERMIT NARRATIVE

THE PROJECT PROPOSES TO ESTABLISH A CREMATORIUM AT AN EXISTING TWO-STORY OFFICE BUILDING WITH A TOTAL GROSS AREA OF 4,664 SQUARE FEET. THE SUBJECT PROPERTY IS LOCATED EAST OF NORTH JOHNSON AVENUE, IN BETWEEN VERNON WAY AND FLETCHER PARKWAY. THE APPLICANT SEEKS TO PROVIDE CREMATION SERVICES AT THE SUBJECT FACILITY, WHICH WILL INCLUDE OFFICE SPACES, MEETING ROOMS, RECEPTION AREAS AND A GATHERING SPACE FOR CREMATION WITNESSING.

THE SCOPE OF WORK PROPOSES A COMPLETE INTERIOR REMODEL OF THE EXISTING FIRST AND SECOND FLOOR LEVEL. ADDITIONAL BUILDING AREA AT GROUND LEVEL IS PROPOSED FOR THE NORTH/EAST PART OF THE BUILDING, WITH A PROPOSED STEEL DECK STRUCTURE CONNECTING TO THE SOUTH PART OF THE BUILDING. THE PROJECT PROPOSES A PARKING RECONFIGURATION AND THE PROPOSAL OF LANDSCAPING ALONG THE EXTERIOR SIDE SETBACKS OF THE PROPERTY.

ZONING

ZONE C-R (REGIONAL COMMERCIAL)
SETBACKS EXT. YARD 10 FT.
MAX HEIGHT 35 FT.

SHEET INDEX

T1.0	TITLE SHEET / PROJECT INFO
AS1.0	EXISTING & PROPOSED SITE PLAN
A1.0	EXISTING & PROPOSED FIRST FLOOR PLAN
A1.1	EXISTING & PROPOSED SECOND FLOOR PLAN
A2.0	PROPOSED BUILDING ELEVATIONS
A2.1	PROPOSED BUILDING ELEVATIONS
C1.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C1.1	PRELIMINARY BMP PLAN
L1.0	LANDSCAPE PLANTING PLAN
L2.0	LANDSCAPE IRRIGATION PLAN
L3.0	LANDSCAPE DETAILS
LP1.0	CONCEPTUAL LIGHTING PLAN
FS1.0	CONCEPTUAL FIRE SPRINKLER PLAN

EAST COUNTY CREMATORIUM

HOURS OF OPERATION

MON. THRU FRIDAY FROM 9 AM TO 5 PM.

PARKING REQUIREMENTS

PER EL CAJON MUNICIPAL CODE, TABLE:17.185.190

USE	SF	SPACES
CARETAKER UNIT - SECOND FLOOR	1215 SF =	2 SPACES
WITNESS CREMATION ROOM - FIRST FLOOR	1164 SF/200 =	5.82 SPACES
LOBBY/OFFICE - FIRST FLOOR	576 SF/250 =	2.3 SPACES

TOTAL CALCULATED = 10.12
AVAILABLE SPACES = 11 > 10.12 COMPLIANT

ROOFTOP MECH. EQUIPMENT

- ROOFTOP MECHANICAL EQUIPMENT INSTALLED ON BUILDINGS AND STRUCTURES SHALL BE SCREENED FROM PUBLIC VIEW BY A PARAPET WALL OR DECORATIVE EQUIPMENT SCREEN THAT SHALL COMPLEMENT THE OVERALL ARCHITECTURAL THEME OF THE BUILDING.

ON-SITE LIGHTING

- ALL DEVELOPMENTS SHALL PROVIDE ADEQUATE LIGHTING FOR PEDESTRIAN AND VEHICULAR SAFETY AND BE SUFFICIENT TO MINIMIZE SECURITY PROBLEMS. HOWEVER, IN NO CASE SHALL LIGHTING ON ONE PROPERTY CREATE A NUISANCE ON ANY OTHER PROPERTY. AN ON-SITE LIGHTING PLAN FOR ALL PARKING AREAS, PEDESTRIAN WALKWAYS AND COMMON OPEN SPACE/RECREATION AREAS SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR ALL PROJECTS.

AREA SUMMARY TABLE

GROSS PARCEL AREA		15,258 SF
2-FOOT RIGHT-OF-WAY DEDICATION		408 SF
NET PARCEL AREA		14,850 SF
DESCRIPTION	EXISTING CONDITION AREA	PROPOSED CONDITION AREA
BUILDING	2,735 SF	4,936 SF
ASPHALT	4,859 SF	3,491 SF
CONCRETE	5,148 SF	2,237 SF
LANDSCAPE	2,108 SF	4,186 SF
TOTAL	14,850 SF	14,850 SF
TOTAL IMPERVIOUS	12,742 SF	10,664 SF
TOTAL PERVIOUS	2,108 SF	4,186 SF

SITE PLAN NOTES

- SEE PRELIMINARY GRADING AND DRAINAGE PLAN FOR GRADING AND DRAINAGE INFORMATION.
- STORM WATER FROM DOWNSPOUTS AND IMPERVIOUS AREAS SHALL BE ROUTED TO LANDSCAPE AREAS PRIOR TO DISCHARGE FROM THE SITE.

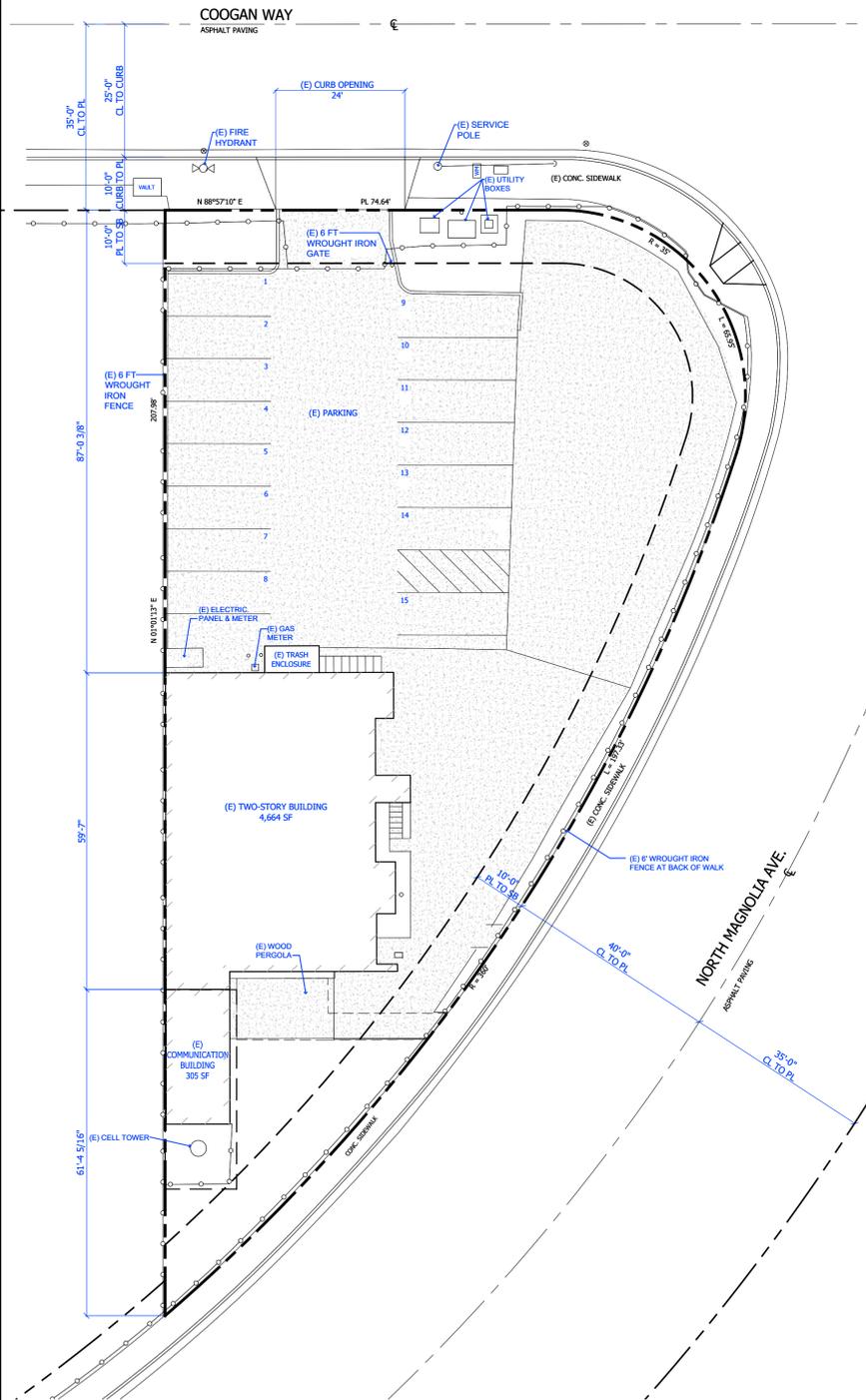
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DATE 3/28/2022

REVISIONS

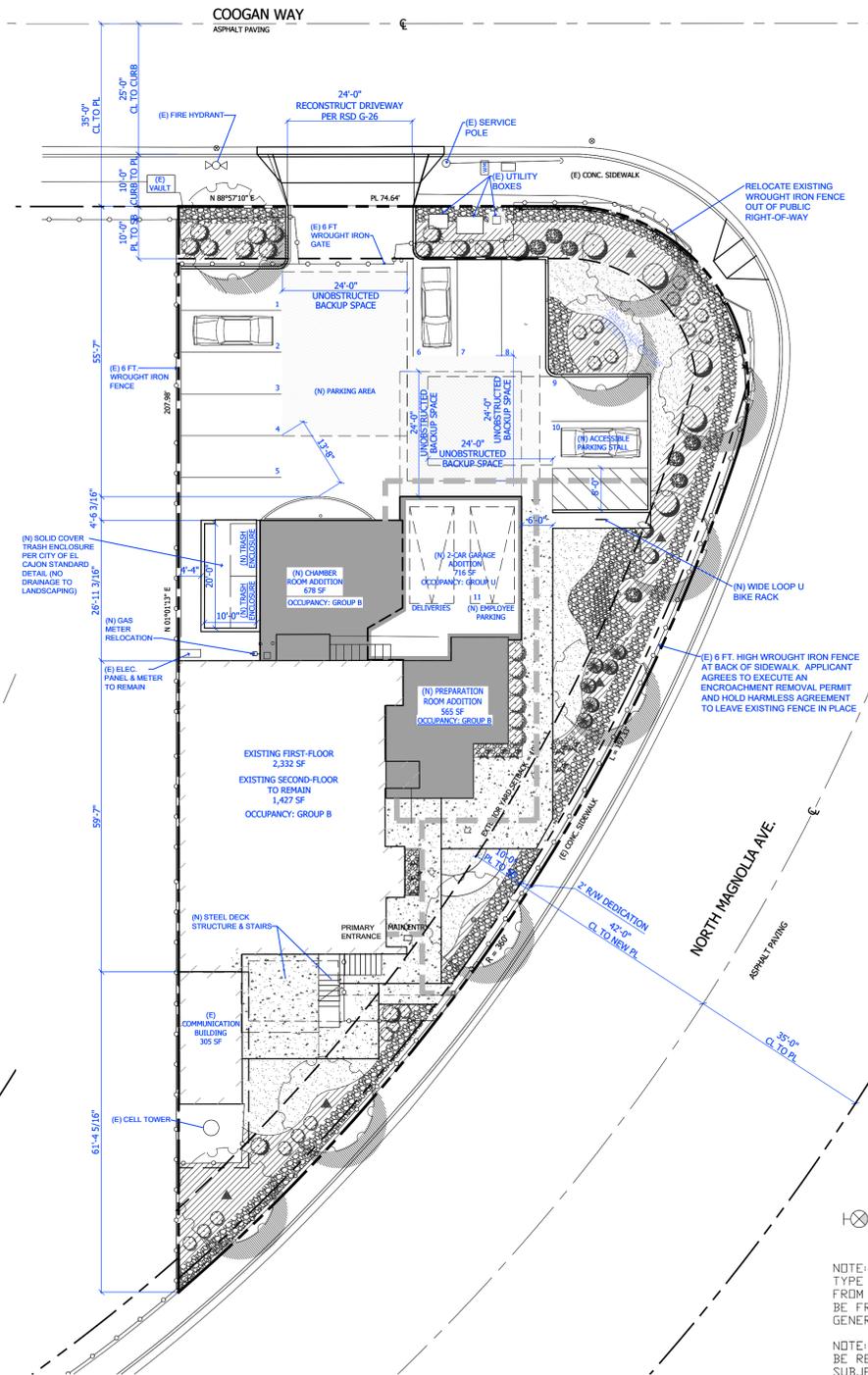
NO.	DATE	DESCRIPTION
1	9/02/2022	RESUBMISSION

SHEET TITLE
EXISTING & PROPOSED SITE PLAN

SHEET NO.
AS1.0



EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"



PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

WALL-MOUNTED EXIT SIGN WITH BATTERY BACKUP, SHADED QUADRANT INDICATES FACE OF LETTERING, SIGN TO INCLUDE DIRECTIONAL ARROW AS INDICATED

NOTE: EXIT SIGNS SHALL BE SELF-LUMINATED TYPE OR ELECTRICALLY ILLUMINATED & ENERGIZED FROM SEPARATE CIRCUITS, ONE OF WHICH SHALL BE FROM STORAGE BATTERIES OR AN ON-SITE GENERATOR.

NOTE: ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTION

SITE PLAN LEGEND

PROPERTY LINE	---
SETBACK LINE	---
AREA OF ADDITION (CONDITIONED SPACE)	▒
AREA OF GARAGE ADDITION	▒
AREA OF PROPOSED LANDSCAPING	▒
ADA PATH OF TRAVEL	▒
EXISTING FIRE HYDRANT	⊗
EXISTING WROUGHT IRON FENCE	○

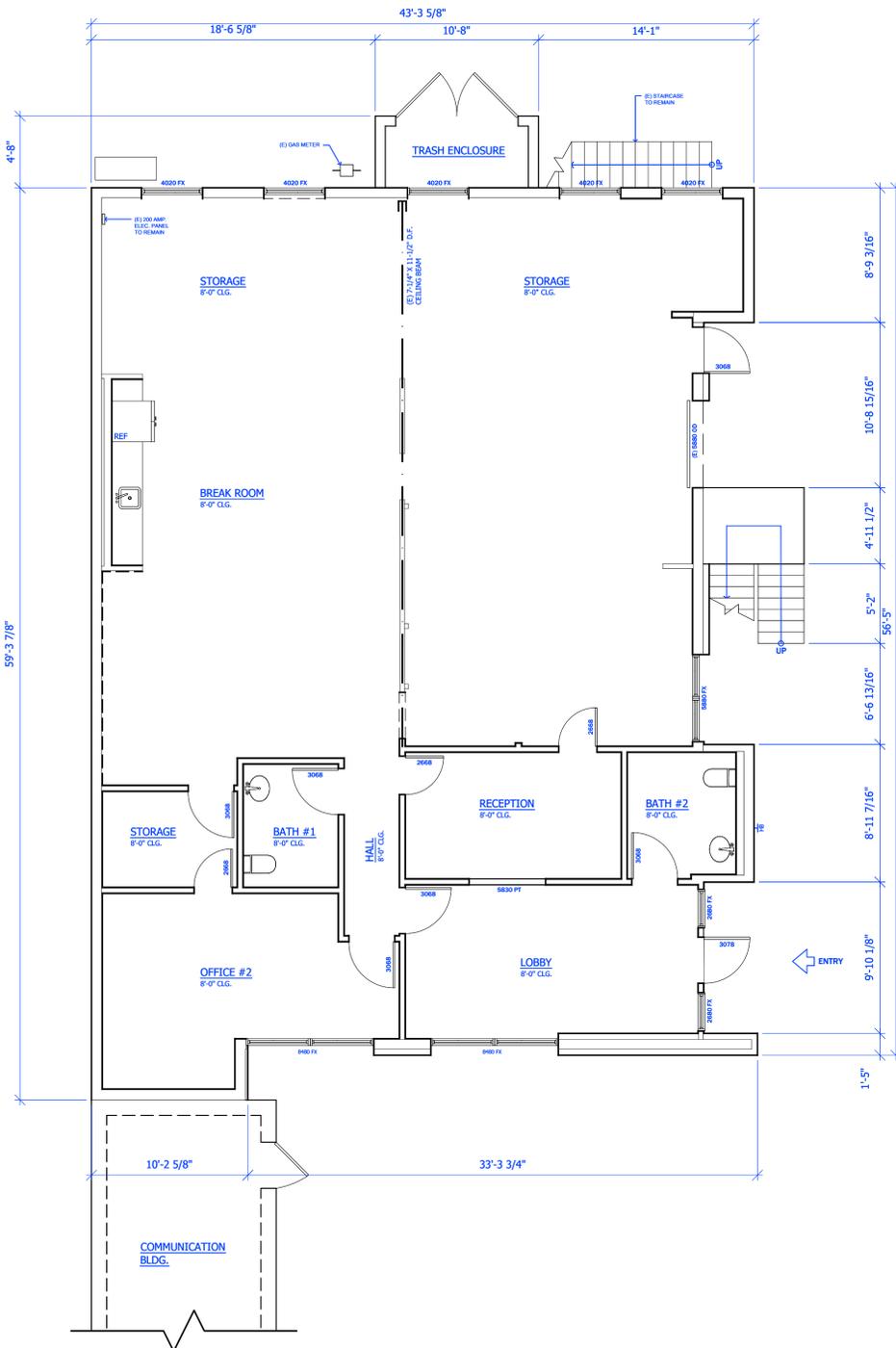
FACTORY-BUILT COMMERCIAL CREMATORIES NOTES

1. FACTORY-BUILT COMMERCIAL CREMATORIES SHALL COMPLY WITH UL 2790 AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. [2019 CBC §925.2]
2. EQUIPMENT SELECTED
 - 2.1. MANUF: CREMATION & INCINERATION EQUIPMENT
MODEL: FT III CREMATORS

ROOM OCCUPANCY PER 2019 CBC §1004.5

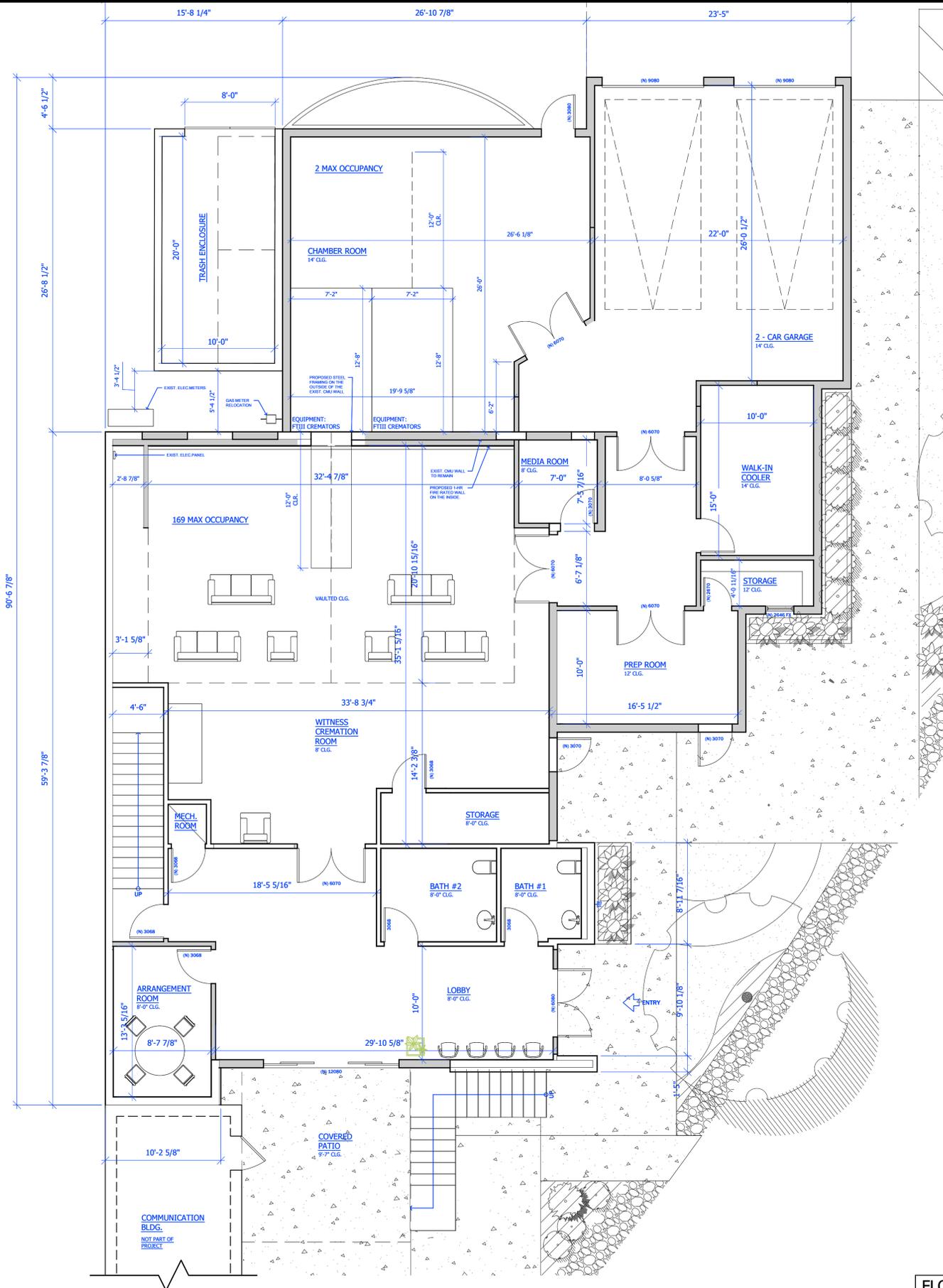
FUNCTION OF SPACE

1. CHAMBER ROOM (MECH. EQUIP. ROOM) 625 SF / 300 GROSS (OCCUPANT LOAD FACTOR) = 2.1
2 MAX OCCUPANCY
2. WITNESS CREMATION ROOM 1,184 SF / 7 (OCCUPANT LOAD FACTOR) = 169.1
169 MAX OCCUPANCY



EXISTING FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"



FLOOR PLAN LEGEND

- EXISTING WALL
- NEW WALL
- STRUCTURE ABOVE

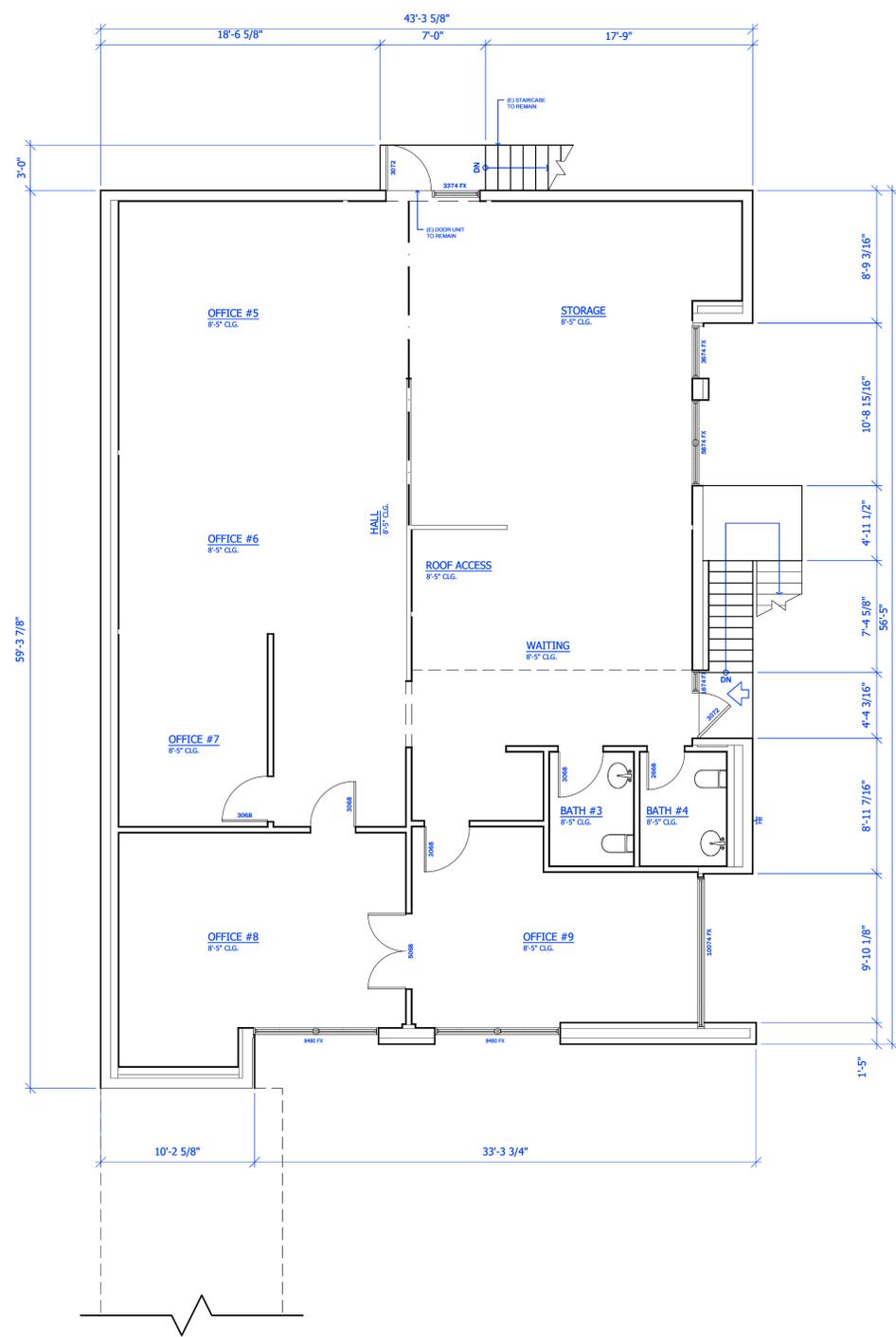


SCALE	
DRAWN BY	JRT/KDG
DATE	3/28/2022
REVISIONS	
	9/02/2022 RESUBMISSION

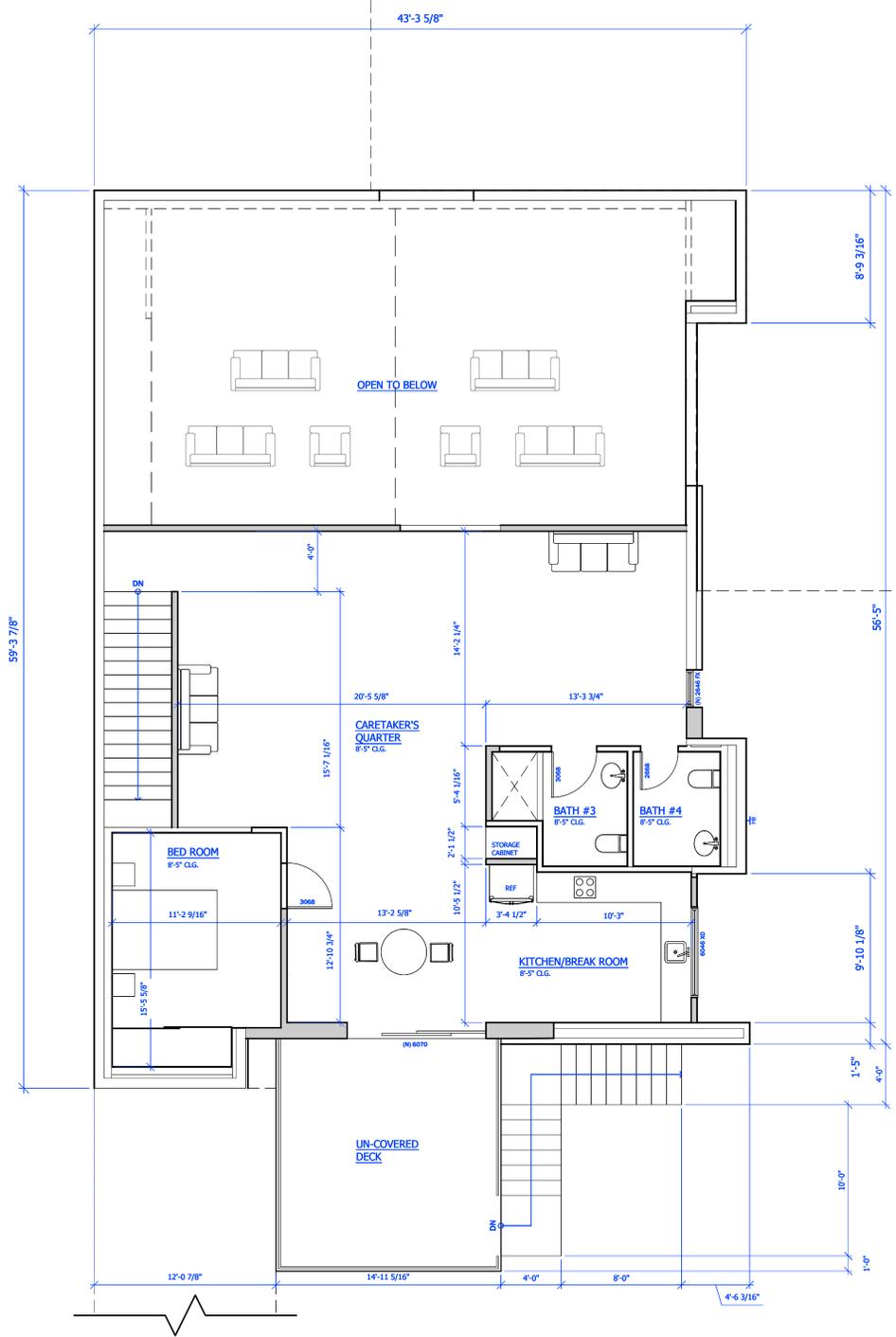
SHEET TITLE
EXISTING & PROPOSED FIRST FLOOR PLAN

SHEET NO.
A1.0

NO.	DATE	DESCRIPTION
1	9/02/2022	RESUBMISSION



EXISTING SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



PROPOSED SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



FLOOR PLAN LEGEND

EXISTING WALL	
NEW WALL	
STRUCTURE ABOVE	



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

ROOFTOP MECH. EQUIPMENT

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ON-SITE LIGHTING

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EAST ELEVATION

SCALE: 1/4" = 1'-0"

SCALE _____
DRAWN BY JRT/KDG
DATE 9/08/2022

REVISIONS

NO.	DESCRIPTION

SHEET TITLE
PROPOSED BUILDING ELEVATIONS

SHEET NO.
A2.0



SOUTH ELEVATION

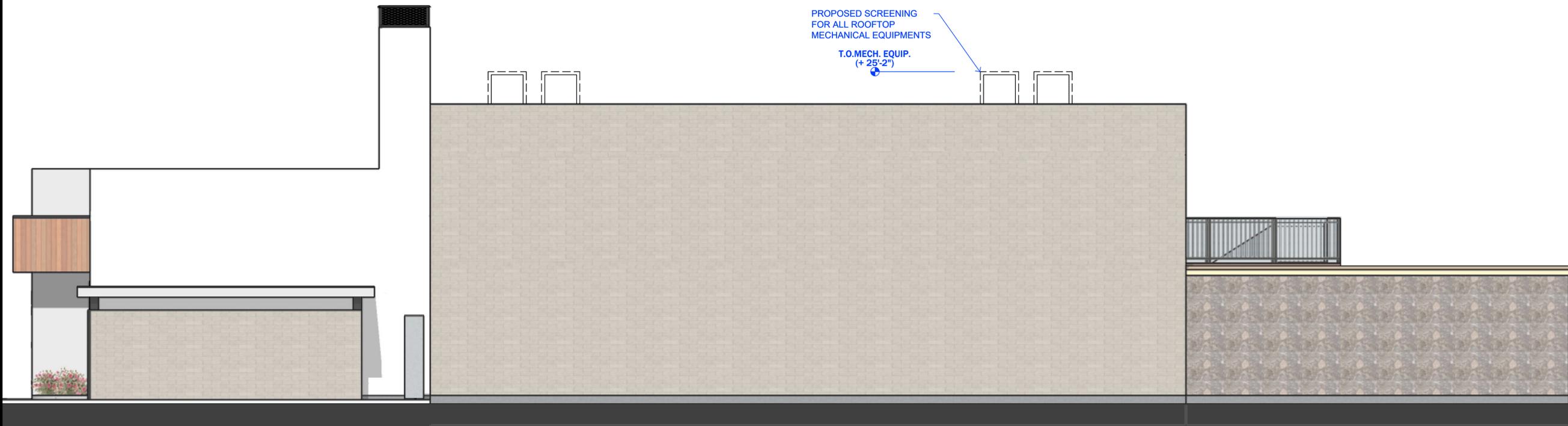
SCALE: 1/4" = 1'-0"

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WEST ELEVATION

SCALE: 1/4" = 1'-0"

SCALE

DRAWN BY JRT/KDG

DATE 9/08/2022

REVISIONS

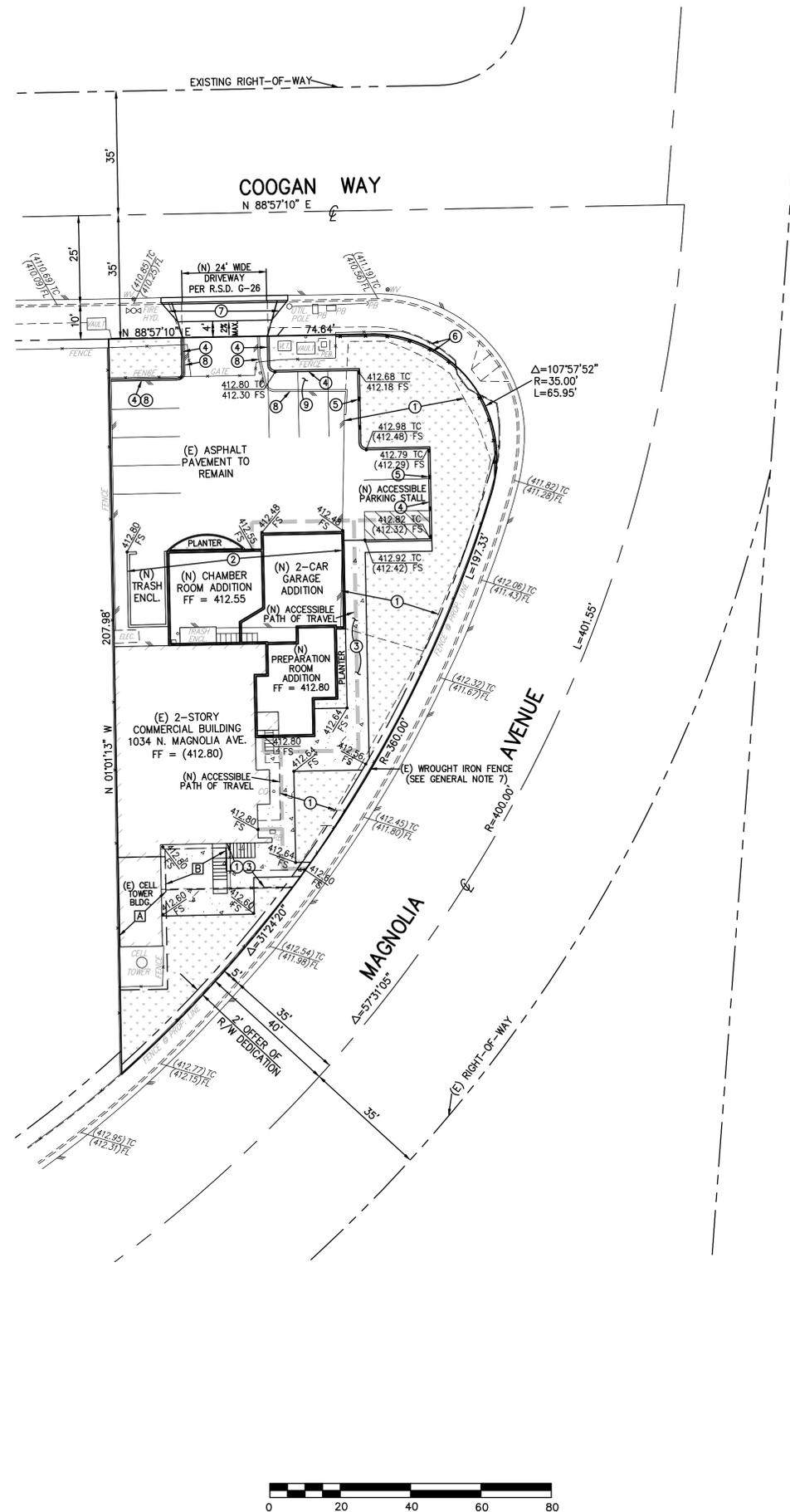
NO.	DATE	DESCRIPTION

SHEET TITLE

**PROPOSED
BUILDING
ELEVATIONS**

SHEET NO.

A2.1



- KEY NOTES**
- 1 REMOVE CONCRETE PAVING
 - 2 REMOVE ASPHALT PAVING
 - 3 CONSTRUCT CONCRETE PAVING
 - 4 CONSTRUCT 6" CURB
 - 5 PROVIDE 12" WIDE CURB OPENING AT 8 FT. SPACING (4 LOCATIONS)
 - 6 RELOCATE EXISTING WROUGHT IRON FENCE OUT OF PUBLIC RIGHT-OF-WAY
 - 7 RECONSTRUCT DRIVEWAY PER R.S.D. G-26
 - 8 REMOVE EXISTING ASPHALT BERM
 - 9 CONSTRUCT ASPHALT PAVING

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF EL CAJON, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 13 OF MAGNOLIA RANCH TRACT, IN THE CITY OF EL CAJON, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 1674, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 29, 1915, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHERLY 35.00 FEET OF SAID LOT 13; THENCE ALONG THE SOUTHERLY LINE OF THE NORTHERLY 35.00 FEET OF SAID LOT 13, NORTH 89° 57' 39" EAST, 896.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE PARALLEL WITH THE WESTERLY LINE OF SAID LOT 13, SOUTH 00° 03' 26" EAST, 207.59 FEET TO A POINT ON THE ARC OF A 360.00 FEET RADIUS CURVE, CONCAVE NORTHWESTERLY, A RADIAL LINE OF SAID CURVE BEARS SOUTH 40° 41' 27" EAST TO SAID POINT, BEING ALSO A POINT ON THE NORTHWESTERLY BOUNDARY OF THAT PORTION OF SAID LOT 13 AS CONVEYED TO THE CITY OF EL CAJON, FOR PUBLIC STREET PURPOSES, RECORDED SEPTEMBER 8, 1969 AS INSTRUMENT NO. 1969-164767 OFFICIAL RECORDS; THENCE ALONG THE BOUNDARY OF SAID DEED AS FOLLOWS: SOUTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE BEGINNING OF A COMPOUND 35.00 FEET RADIUS CURVE, CONCAVE SOUTHWESTERLY, SAID CURVE BEING ALSO TANGENT TO THE SOUTHERLY LINE OF THE NORTHERLY 35.00 FEET TO SAID LOT 13; THENCE NORTHEASTERLY NORTHERLY AND NORTHWESTERLY ALONG THE ARC OF SAID CURVE TO THE POINT OF TANGENCY IN THE SOUTHERLY LINE OF THE NORTHERLY 35.00 FEET OF SAID LOT 13; THENCE ALONG SAID SOUTHERLY LINE SOUTH 89° 57' 39" WEST TO THE TRUE POINT OF BEGINNING.

A EXCLUSIVE EASEMENT AREA FROM DOC. #2021-0677954

BEING A PORTION OF LOT 13 OF MAGNOLIA RANCH TRACT, AS RECORDED ON MAP 1674 IN THE RECORDS OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CENTERLINE OFFSET OF COOGAN WAY, AS SHOWN ON RECORD OF SURVEYS MAP NO. 22415 OF THE COUNTY OF SAN DIEGO, FROM WHICH ANOTHER CENTERLINE OFFSET OF SAID COOGAN WAY BEARS SOUTH 89°52'00" WEST, 446.49 FEET; THENCE ALONG THE LINE BETWEEN SAID CENTERLINE OFFSETS SOUTH 89°52'00" WEST, 94.62 FEET; THENCE SOUTH 00°39'20" WEST, 63.21 FEET TO THE NORTHWEST CORNER OF THAT PARCEL OF LAND CONVEYED BY INSTRUMENT NUMBER 1994-0427597 OF THE RECORDS OF SAN DIEGO COUNTY; THENCE CONTINUING SOUTH 00°39'20" WEST, ALONG THE WEST LINE OF SAID PARCEL, 146.65 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°20'40" EAST, 13.50 FEET; THENCE SOUTH 00°39'20" WEST, 37.50 FEET; THENCE NORTH 89°20'40" WEST, 13.50 FEET TO SAID WEST LINE; THENCE CONTINUING ALONG SAID WEST LINE NORTH 00°39'20" EAST, 37.50 FEET TO THE POINT OF BEGINNING, CONTAINING 506 SQUARE FEET (0.012 ACRES) OF LAND, MORE OR LESS.

B ACCESS & UTILITY EASEMENT FROM DOC. #2021-0677954

BEING A PORTION OF LOT 13 OF MAGNOLIA RANCH TRACT, AS RECORDED ON MAP 1674 IN THE RECORDS OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF COOGAN WAY, BEING N 88°57'10" E AS SHOWN ON RECORD OF SURVEY MAP NO. 22415, RECORDS OF SAN DIEGO COUNTY, CA.

BENCHMARK

CITY OF EL CAJON BENCHMARK 476

STD. BRASS CAP IN TOP OF CURB, S. P.C.R. AT S.E. CORNER OF GRAVES AVE. & HART DR.

ELEV. = 414.074 NAVD 88

- GENERAL NOTES**
1. DATE OF PREPARATION: 9/02/2022
 2. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED ON 8/04/2022
 3. GROSS PARCEL AREA: 15,258 SQ. FT. (0.35 AC.)
 4. NET PARCEL AREA: 14,850 SQ. FT. (0.34 AC.)
 5. AREA OF DISTURBANCE: 8,111 SQ. FT.
 6. ASSESSOR PARCEL NUMBER: 483-071-29
 7. APPLICANT AGREES TO RELOCATE EXISTING WROUGHT IRON FENCE IN MAGNOLIA AVENUE OUTSIDE OF 2 FOOT RIGHT-OF-WAY DEDICATION AREA UPON REQUEST FROM THE CITY OR WHEN DEVELOPER TO THE SOUTH RELOCATES SIMILAR FENCE.

KDG
Kana Development Group

REGISTERED PROFESSIONAL ENGINEER
MICHAEL C. AGUILAR
No. 44614
EXP. 3-31-24
CIVIL
STATE OF CALIFORNIA

12X16
DESIGN WORKSHOP

EAST COUNTY CREMATORIUM
1034 NORTH MAGNOLIA AVENUE
EL CAJON, CA 92020

SCALE

DRAWN BY JRT/KDG

DATE 3/28/2022

REVISIONS

1	9/08/2022	RESUBMISSION

SHEET TITLE

PRELIMINARY GRADING AND DRAINAGE PLAN

SHEET NO.

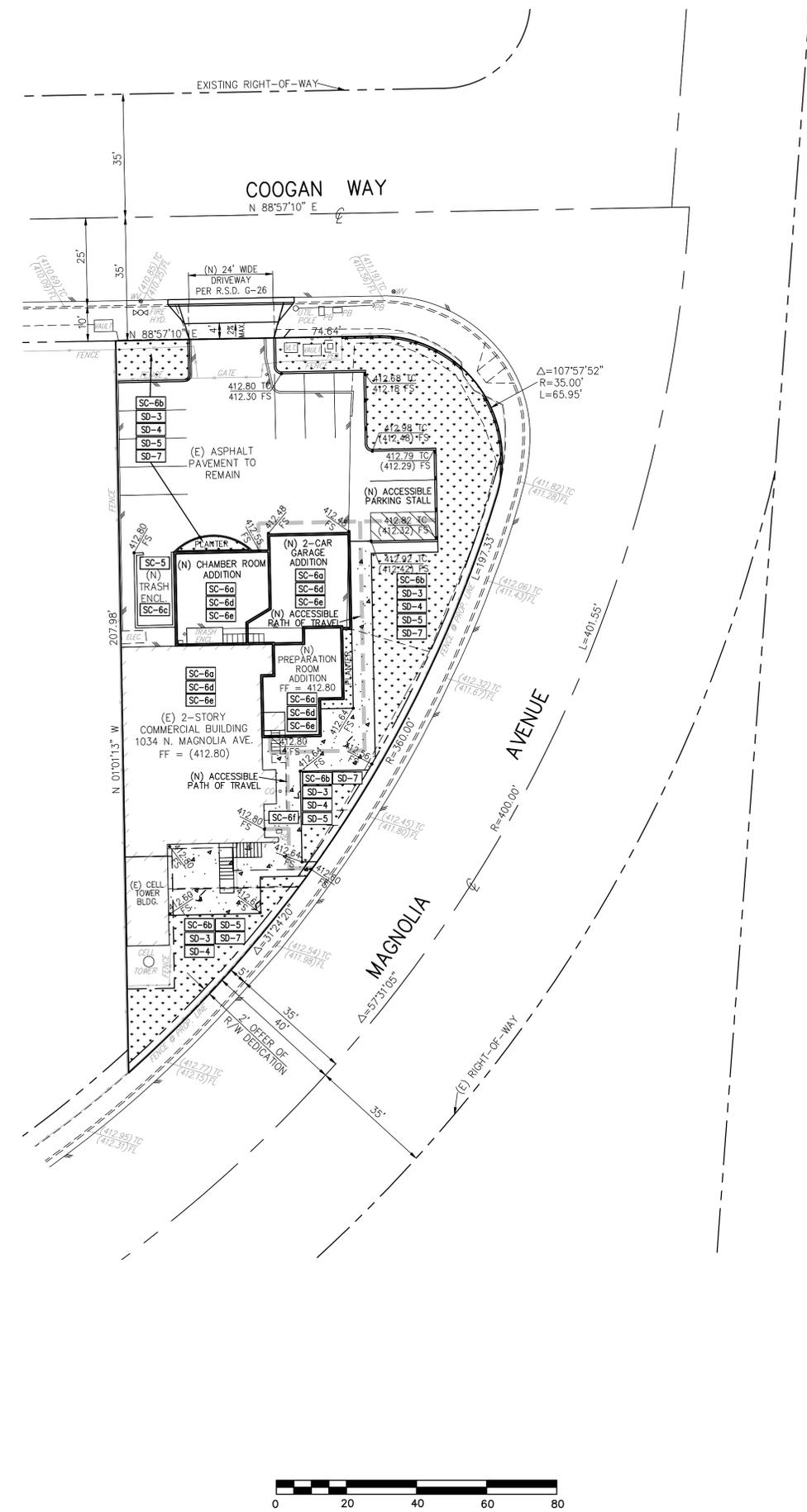
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Kana Development Group



12X16
DESIGN WORKSHOP



BMP KEY NOTES

- SC-5 PROTECT STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL
- ADDITIONAL BMPs:
- SC-6a NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL
- SC-6b LANDSCAPE/OUTDOOR PESTICIDE USE
- SC-6c REFUSE AREAS
- SC-6d FIRE SPRINKLER TEST WATER
- SC-6e MISCELLANEOUS DRAIN OR TEST WATER
- SC-6f PLAZAS, SIDEWALKS, AND PARKING AREAS
- SD-3 MINIMIZE IMPERVIOUS AREAS
- SD-4 MINIMIZE SOIL COMPACTION
- SD-5 IMPERVIOUS AREA DISPERSAL
- SD-6 RUNOFF COLLECTION
- SD-7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES

AREA SUMMARY TABLE

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EAST COUNTY CREMATORIUM
1034 NORTH MAGNOLIA AVENUE
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SHEET TITLE
**PRELIMINARY
BMP PLAN**

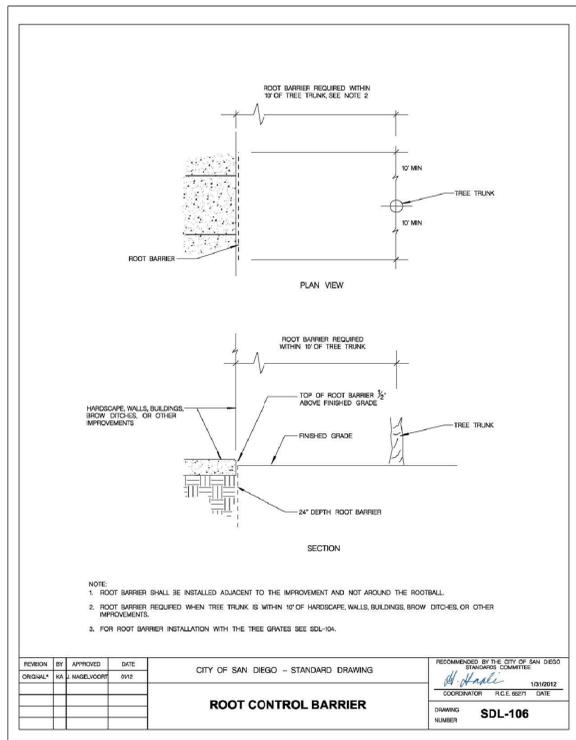
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GENERAL NOTES:

- LANDSCAPE AREAS PLANTED WITH ONLY TREES AND/OR SHRUBS THAT ARE NOT ALSO PLANTED WITH TURFGRASS OR GROUNDCOVERS SHALL BE MULCHED ON THE SOIL SURFACE TO A MINIMUM DEPTH OF THREE INCHES.
- ALL LANDSCAPE AND IRRIGATION SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF ESCONDIDO'S LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- PRIOR TO AMENDING, SOIL WILL BE TESTED FOR PH BALANCE, AMENDMENTS WILL BE APPLIED IF NECESSARY.
- PRIOR TO AMENDING, THE SURFACE SOIL IN AREAS TO BE LANDSCAPED SHOULD BE RIPPED OR TILLED TO ALLEVIATE COMPACTION, PREFERABLY TO A 9 INCH DEPTH.
- ALL REQUIRED LANDSCAPE MAINTENANCE AREAS SHALL BE MAINTAINED BY "OWNER". THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.
- PROVIDE ON-SITE DRAINAGE SYSTEM TO COLLECT AND ROUTE SURFACE AND ROOF RUNOFF TO AN APPROVED OUTLET.
- FINAL GRADING SHALL PROVIDE A MINIMUM 2% SLOPE IN ALL LANDSCAPE AREAS AWAY FROM STRUCTURES, ADJACENT PROPERTIES AND COMMON AREAS.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT BE WRAPPED AROUND THE ROOTBALL.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- THE APPLICANT AGREES TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) IN ACCORDANCE WITH STATE LAW AND LAND DEVELOPMENT CODE SECTION 142.041(H), AND WILL PROVIDE THE RECORD OWNER AT THE TIME OF FINAL INSPECTION WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE, AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.

MINIMUM TREE SEPERATION DISTANCE:

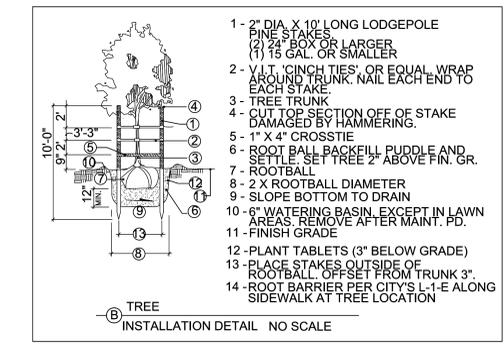
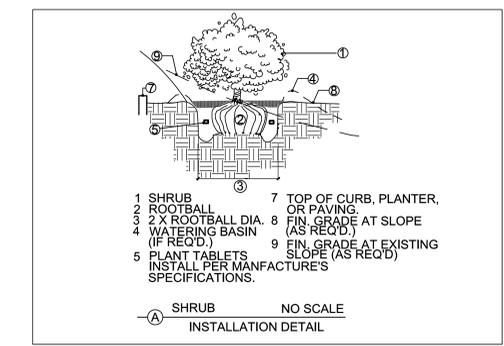
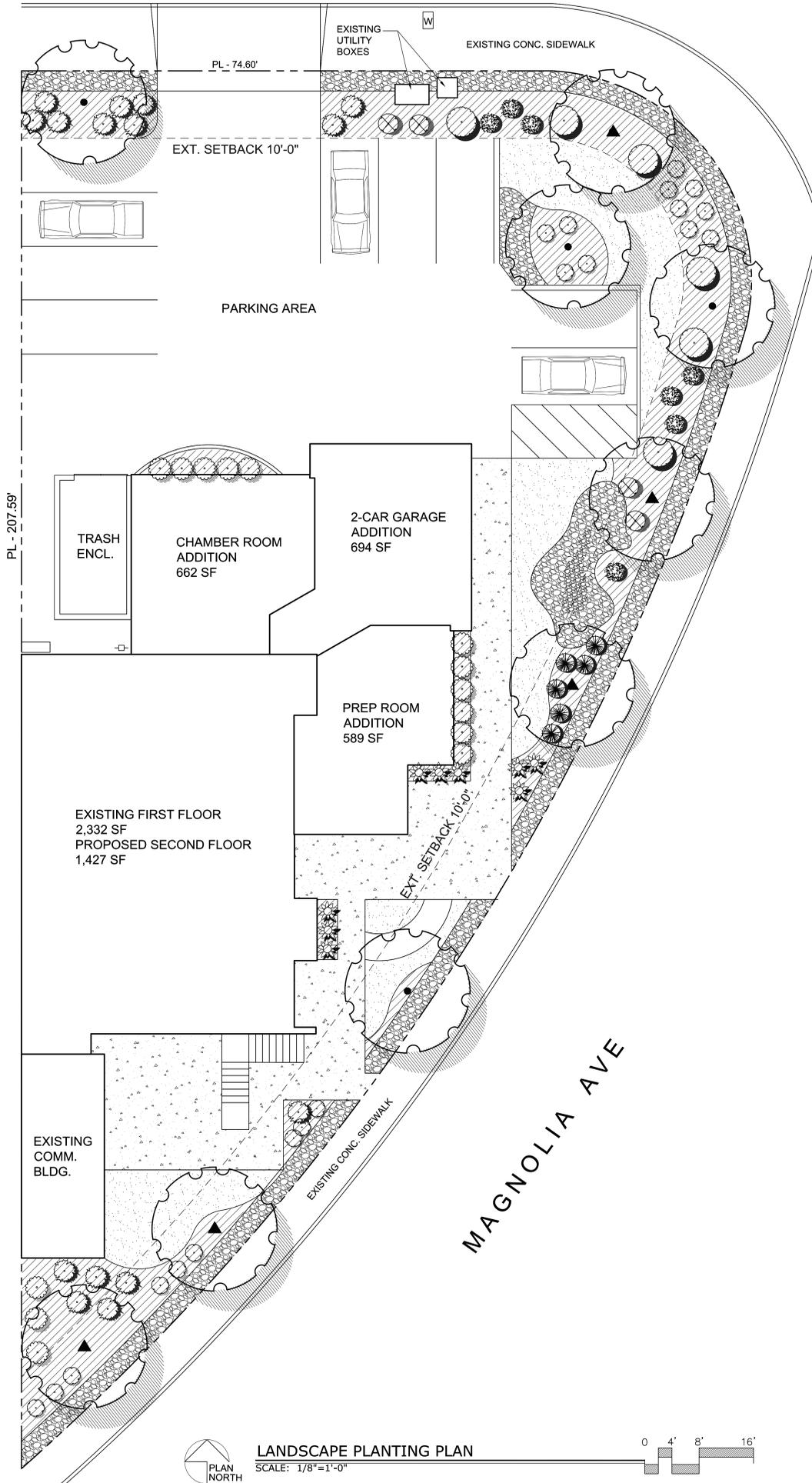
- TRAFFIC SIGNAL, STOP SIGN - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET (SEWER - 10 FEET)
- ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC.) - 10 FEET
- DRIVEWAYS - 10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET



I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION CONTAINED IN THE CITY OF EL CAJON LANDSCAPE ORDINANCE. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE THE EFFICIENT USE OF WATER.

TONY VITALE C.L. #942177 6/2/2022 DATE

COOGAN WAY



KEY LEGEND

- BROOMED CONCRETE - 3000 PSI., 4" THICK, REBAR @24" O.C. (1,426 SQ.FT.)
- ARTIFICIAL TURF - GLOBAL SYNTURF, SUPERNATURAL 60 W/HYBRID SAND (1,076 SQ.FT.)
- MULCHED AREA - ORGANIC SHREDDED MULCH, 3" THICK (1,716 SQ.FT.)
- RIVER ROCK - ARIZONA RIVER ROCK, 3"-4" DIAMETER W/WEED CLOTH BELOW (1,152 SQ.FT.)

PLANT LEGEND

SYM.	COMMON NAME	BOTANICAL NAME	QTY.	WUCOLS
	ROCK PURSLANE	CALANDRINIA GRANDIFLORA	20	LOW
	NEW ZEALAND FLAX 'AMAZING RED'	PHORMIUM TENAX	9	LOW
	MEXICAN BUSH SAGE	SALVIA LEUCANTHA	15	LOW
	FOXTAIL AGAVE	AGAVE ATTENUATA	7	LOW
	CORAL ALOE	ALOE STRIATA	4	LOW
	PINK ROCKROSE	CISTUS PURPUREUS	14	LOW
	DWF. BOTTLEBRUSH SHRUB	CALLISTEMON 'LITTLE JOHN'	6	LOW
	COAST ROSEMARY	WESTRINGEA FRUTICOSA	6	LOW

TREES

COMMON NAME	BOTANICAL NAME	QTY.	WUCOLS
AUSTRALIAN WILLOW 24" BOX	GEIJERA PARVIFLORA	5	LOW
GRAPE MYRTLE TREE 24" BOX (FOR LMD)	LAGERSTROEMIA INDICA FAURIEI TUSKEGEE	5	MEDIUM

LANDSCAPE LOGIC
TONY VITALE
www.MyLandscapeLogic.com
LIC# 942177
4455 MORENA BLVD. #110
SAN DIEGO, CA 92109
PH: 619.446.6482

ALL IDEAS, DESIGN ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF LANDSCAPE LOGIC AND WERE CREATED, EVOLVED, & DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF LANDSCAPE LOGIC.

LANDSCAPE PLAN FOR:
EAST COUNTY CREMATORIUM
1034 MAGNOLIA AVE
EL CAJON, CA 92020
APN: 483-071-29-00

02 JUNE 2022

L1.0
OF 3 SHEETS

IRRIGATION NOTES

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS NECESSARY.
- DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BOUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER AS NOTED.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE TWICE THE DIAMETER OF THE PIPE CARRIED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING. ALL SLEEVES TO BE AS SHOWN ON THE PLANS.
- ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER VALVES WITHIN 18" OF HARDSCAPE.
- ALL VALVE BOXES TO BE GREEN IN COLOR, SIZED AS INDICATED BY DETAILS, AND HOT BRANDED AS INDICATED ON THE PLANS OR DETAILS.
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ON WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- ALL HEADS INDICATED ON THE PLANS AT A SPACING LESS THAN 75% OF FULL OPEN THROW, AS PER MANUFACTURER'S RECOMMENDATIONS, ARE TO RECEIVE A PCS SCREEN OF APPROPRIATE SIZE TO REDUCE THE RADIUS TO MORE CLOSELY MATCH THE SPACING. REFER TO THE MANUFACTURER'S CHARTS PROVIDED WITH PCS SCREENS FOR SIZING OF SCREENS.

NETAFIM GUIDELINES

GENERAL GUIDELINES	SHRUB & GROUND COVER			
	CLAY SOIL	LOAM SOIL	SANDY SOIL	COARSE SOIL
EMITTER FLOW	0.26 GPH	0.4 GPH	0.6 GPH	0.9 GPH
EMITTER SPACING	18"	18"	12"	12"
LATERAL (ROW) SPACING	18" 21" 24"	18" 21" 24"	16" 18" 20"	16" 18" 20"
BURIAL DEPTH	On surface or bury evenly throughout the zone to a maximum of 6"			
APPLICATION RATE (INCHES/HOUR)	0.19	0.16	0.14	0.30
TIME TO APPLY 1/2" OF WATER (MINUTES)	80	93	106	50
	58	66	20	23
	26	13	15	17

EMITTER SPACING	0.26 EMITTER		0.4 EMITTER		0.6 EMITTER		0.9 EMITTER	
	GPH	GPM	GPH	GPM	GPH	GPM	GPH	GPM
12"	26.4	0.44	42.3	0.71	60.8	1.01	92.5	1.54
18"	17.6	0.29	28.2	0.47	40.5	0.68	61.6	1.03
24"	-	-	-	-	30.4	0.51	46.2	0.77

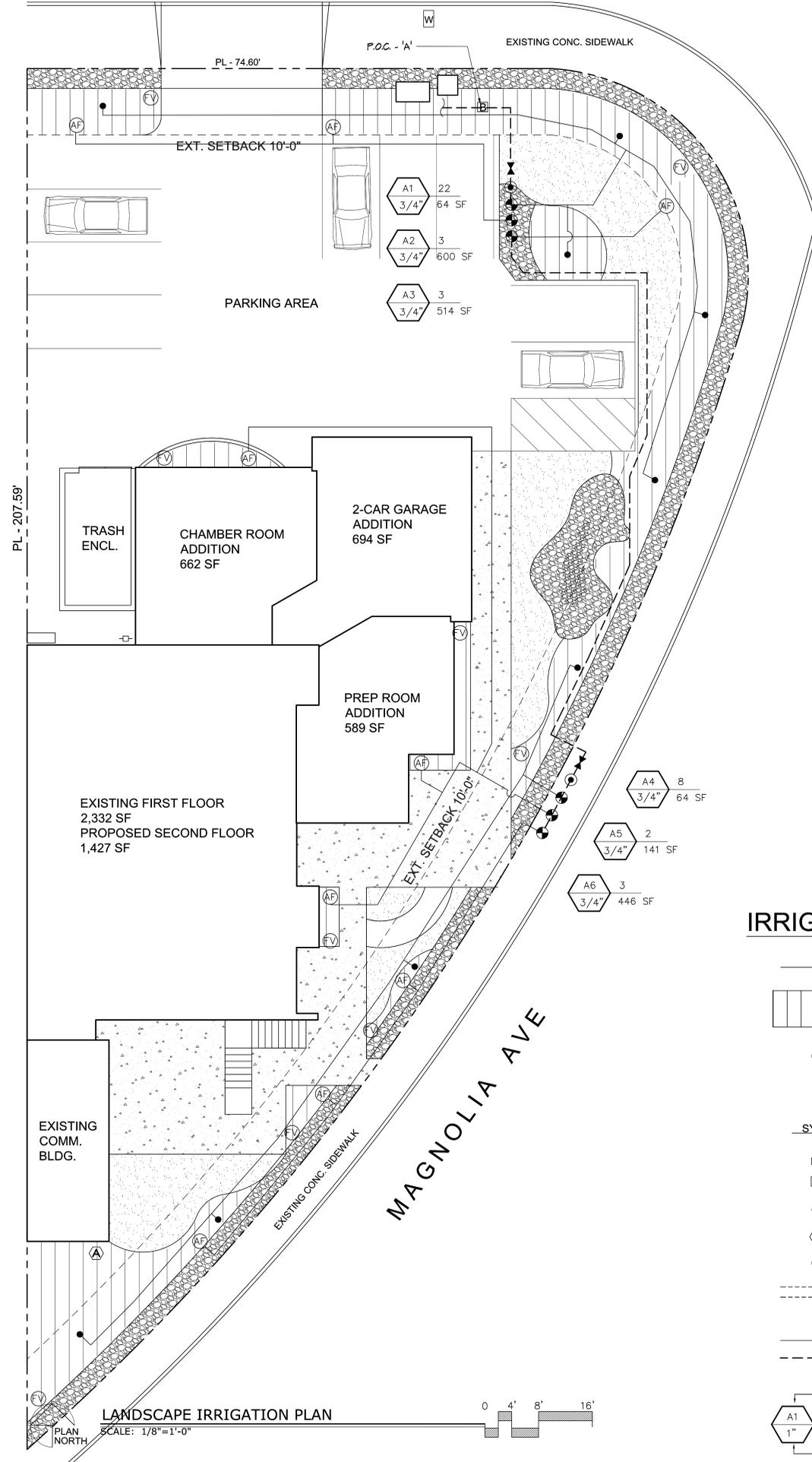
MAXIMUM LENGTH OF A SINGLE LATERAL (FEET)				
EMITTER SPACING	12"	18"	24"	
EMITTER FLOW (GPH)	0.26	0.4	0.6	0.9
20 psi	331	242	190	144
25 psi	413	302	238	180
35 psi	518	380	299	227
45 psi	594	436	343	260
55 psi	655	480	378	287
60 psi	681	500	393	298



I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION CONTAINED IN THE CITY OF EL CAJON LANDSCAPE ORDINANCE. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE THE EFFICIENT USE OF WATER.

TONY VITALE C.L. #942177 6/2/2022 DATE

COOGAN WAY



WATER EFFICIENT LANDSCAPE WORKSHEET

Irrigation Point of Connection (P.O.C.) # A									
A	B	C	D	E	F	G	H	I	J
Controller #	Hydrozone #	Valve Circuit #	Irrigation Method (Code)	Plant Factor (average) (PF)	Hydrozone Area (HA) (sf)	% of Total Landscaped Area	PF x HA	IE	PF x HA / IE
A	1	1	D	0.3	64	3%	19	0.81	23
A	2	2	D	0.3	600	33%	180	0.81	222
A	3	3	D	0.3	514	28%	154	0.81	190
A	4	4	D	0.3	64	3%	19	0.81	23
A	5	5	D	0.3	141	8%	42	0.81	52
A	6	6	D	0.3	446	24%	134	0.81	165
TOTAL					1,829	99%		1.0	675

SLA = Special Landscaped Area

Calculation: $[47.0 \times 0.62] [0.55 \times 1,829] + [0.45 \times 1.0]$

Maximum Allowed Water Allowance (MAWA) **29,326** GPY

Calculation: $[47.0 \times 0.62 \times 675]$

Estimated Total Water Use (ETWU) **19,670** GPY

KEY LEGEND

	BROOMED CONCRETE - 3000 PSI., 4" THICK, REBAR @ 24" O.C. (1,426 SQ.FT.)
	ARTIFICIAL TURF - GLOBAL SYNTURF, SUPERNATURAL GO W/HYBRID SAND (1,076 SQ.FT.)
	MULCHED AREA - ORGANIC SHREDDED MULCH, 3" THICK (1,716 SQ.FT.)
	RIVER ROCK - ARIZONA RIVER ROCK, 3"-4" DIAMETER W/WEEED CLOTH BELOW (1,152 SQ.FT.)

IRRIGATION LEGEND

	RAINBIRD (3 PER SYMBOL) HUNTER HALO-SPRAY HS-B-SKT	E/L3.0	
	NETAFIM TECHLINE CV DRIP LINE - EMITTERS AT 18" O.C.	F/L3.0	
	TECHLINE LINE FLUSHING VALVE	B/L3.0	
	TECHLINE AIR/VACUUM RELIEF VALVE	A/L3.0	
SYMBOL	MANUF.	MODEL NO. / DESCRIPTION	DETAILS
	EXISTING	WATER METER	
	NIBCO	4660-S PVC SCHEDULE 40 BALL VALVE, LINE SIZE	J/L3.0
	WILKINS	975 XL 1" REDUCED PRESSURE BACKFLOW DEVICE W/IA BRONZE WYE STRAINER WITH WILKINS 600 1" PRESSURE REGULATOR	G/L3.0
	RAIN BIRD	PEB SERIES - 3/4" PLASTIC REMOTE-CONTROL VALVE FOR LMD, USE AIR/VACUUM RELIEF AIR VENTS	I/L3.0
	RAIN BIRD	ESP-8MC SERIES, OUTDOOR WALL-MOUNT, AUTOMATIC CONTROLLER IN LOCKING BOX	H/L3.0
	HUNTER	RC - 3/4" QUICK COUPLER WITH YELLOW RUBBER COVER	L/L3.0
	AS APPROVED	PVC PIPE SCH. 40 AS SLEEVING; AS NOTED: TWICE THE DIAMETER OF PIPE. ALL PIPE AND WIRE UNDER PAVING SHALL BE INSTALLED INSIDE A SEPARATE SLEEVE	
	AS APPROVED	PVC PIPE 3/4" SCH. 40 AS LATERAL LINES 12" BELOW GRADE	
	AS APPROVED	PVC PIPE 1" AS MAINLINE, SCH. 40, 18" BELOW GRADE	

	STATION
	G.P.M.
	AREA
	VALVE SIZE

LANDSCAPE LOGIC
 TONY VITALE
 www.MylandscapeLogic.com
 PH: 619.446.6482

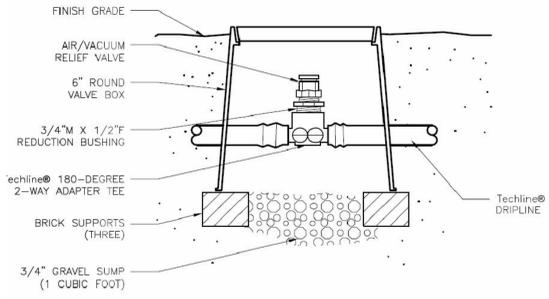
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LANDSCAPE PLAN FOR:
EAST COUNTY CREMATORIUM

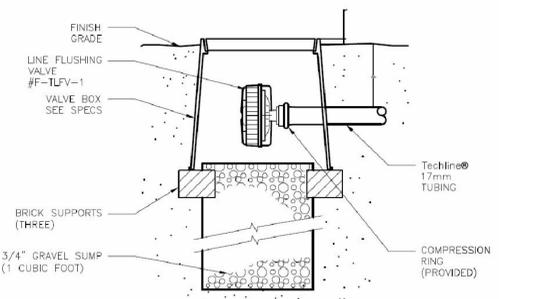
1034 MAGNOLIA AVE
 EL CAJON, CA 92020
 APN: 483-071-29-00

02 JUNE 2022

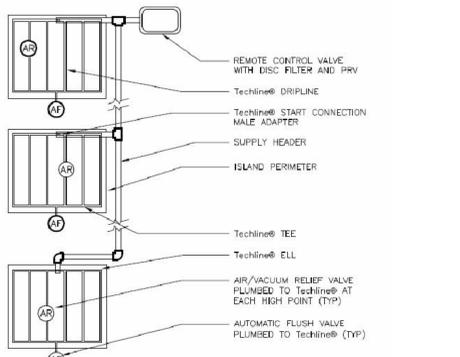
L2.0
 OF 3 SHEETS



A AIR/VACUUM RELIEF
NO SCALE

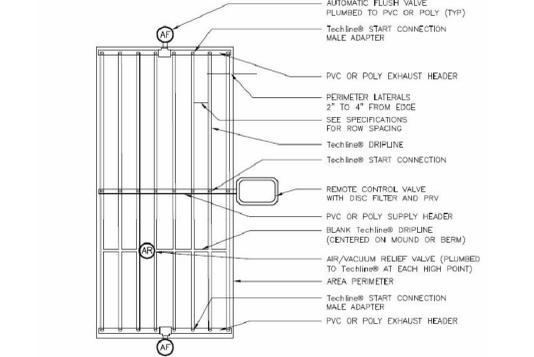


B CENTERFEED LAYOUT
NO SCALE



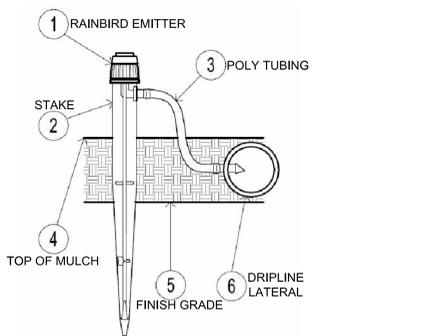
NOTE: ALL DRIP LINE TO BE BURRY 2"-3" BELOW FINISH GRADE

C ISLAND LAYOUT
NO SCALE

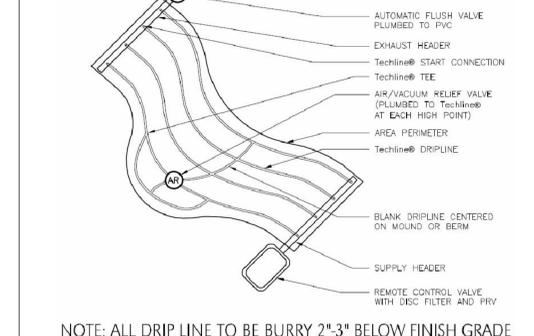


NOTE: ALL DRIP LINE TO BE BURRY 2"-3" BELOW FINISH GRADE

D CENTERFEED LAYOUT
NO SCALE

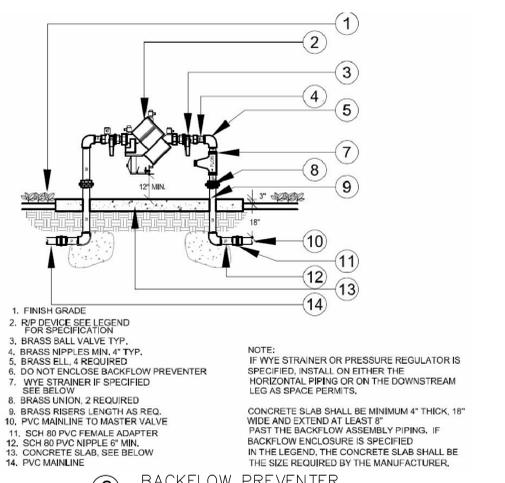


E DRIP EMITTER DTL.
NO SCALE



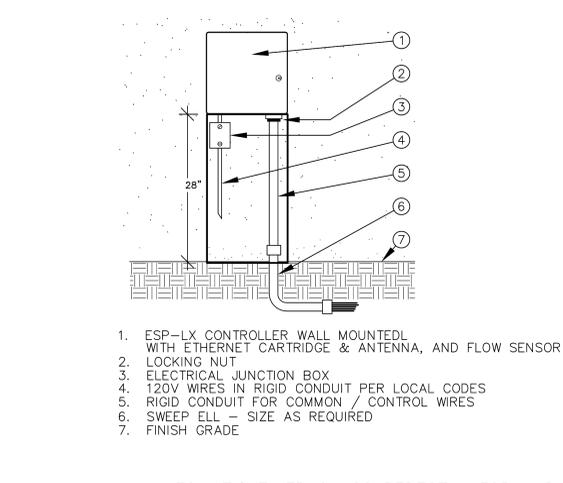
NOTE: ALL DRIP LINE TO BE BURRY 2"-3" BELOW FINISH GRADE

F NETAFIM DTL.
NO SCALE



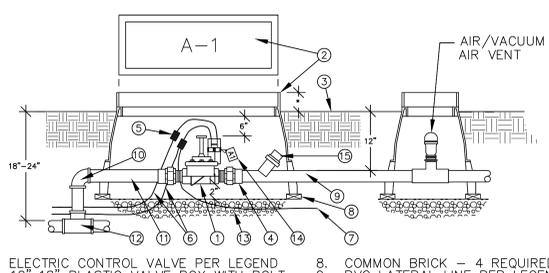
1. FINISH GRADE
2. RIP DEVICE SEE LEGEND FOR SPECIFICATION
3. BRASS BALL VALVE TYP.
4. BRASS ELL, 4" REQUIRED
5. BRASS ELL, 4" REQUIRED
6. DO NOT ENCLOSE BACKFLOW PREVENTER
7. WYE STRAINER IF SPECIFIED SEE BELOW
8. BRASS UNION, 2" REQUIRED
9. BRASS RISERS LENGTH AS REQ. WIDE AND EXTEND AT LEAST 6" PAST THE BACKFLOW ASSEMBLY PIPING. IF BACKFLOW ENCLOSURE IS SPECIFIED IN THE LEGEND, THE CONCRETE SLAB SHALL BE THE SIZE REQUIRED BY THE MANUFACTURER.
10. PVC MAINLINE TO MASTER VALVE
11. SCH 80 PVC FEMALE ADAPTER
12. SCH 80 PVC NIPPLE 6" MIN.
13. CONCRETE SLAB, SEE BELOW
14. PVC MAINLINE

G BACKFLOW PREVENTER
NO SCALE



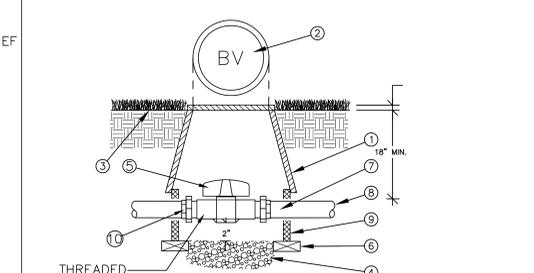
1. ESP-LX CONTROLLER WALL MOUNTED WITH ETHERNET CARTRIDGE & ANTENNA, AND FLOW SENSOR
2. LOCKING NUT
3. ELECTRICAL JUNCTION BOX
4. 120V WIRES IN RIGID CONDUIT PER LOCAL CODES
5. RIGID CONDUIT FOR COMMON / CONTROL WIRES
6. SWEEP ELL - SIZE AS REQUIRED
7. FINISH GRADE

H AUTOMATIC TIMER ON SS PEDESTAL FOR LMD
NO SCALE



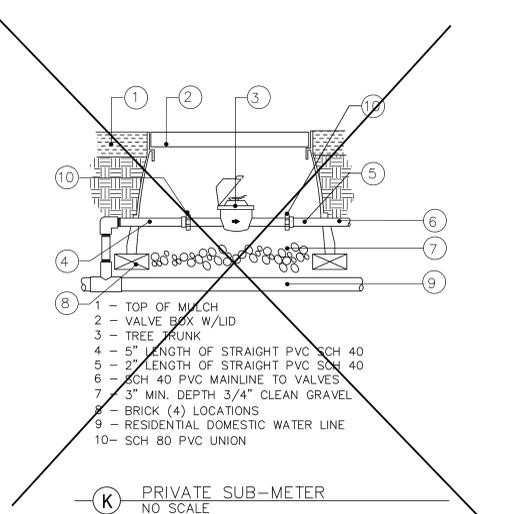
1. ELECTRIC CONTROL VALVE PER LEGEND
2. 12"x18" PLASTIC VALVE BOX WITH BOLT DOWN LID - HEAT BRAND STATION NUMBER ON LID IN 2" HIGH CHARACTERS
3. FINISH GRADE
4. PVC SCH 80 UNION - SIZE AS REQ'D TYP. OF 2
5. WATERPROOF WIRE CONNECTOR WITH 36" COILED EXPANSION LOOP
6. WIRES FROM CONTROLLER
7. COMMON WIRE TO OTHER VALVES ON SAME CONTROLLER
8. COMMON BRICK - 4 REQUIRED
9. PVC LATERAL LINE PER LEGEND
10. PVC SCH 80 ELL - PRESSURE SIDE PVC 80, LATERAL SIDE PVC 40
11. PVC MAINLINE PER LEGEND
12. SCH 40 PVC MAINLINE FITTING
13. 3/4" GRAVEL - 6" DEEP
14. 'CHRISTY'S' I.D. TAG OR EQUAL
15. FILTER & PRESSURE REGULATOR

I REMOTE CONT. VALVE INST.
NO SCALE

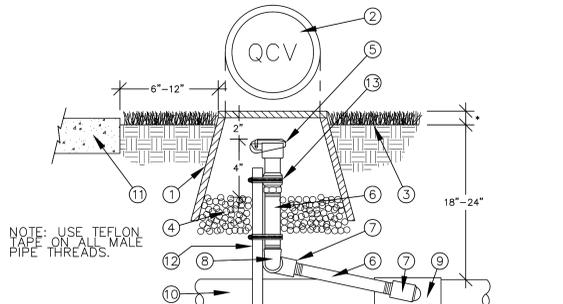


1. 10" ROUND PLASTIC VALVE BOX, W/LOCKING LID
2. HEAT BRAND "BV" ON LID IN 2" HIGH CHARACTERS
3. FINISH GRADE
4. 3/4" CRUSHED ROCK - 4" DEPTH
5. BALL VALVE PER IRRIGATION PLAN - THREADED
6. COMMON BRICK - 4 REQUIRED
7. SCH 40 PVC MALE ADAPTER - IF NECESSARY
8. MAINLINE PIPING PER IRRIGATION PLAN
9. VALVE BOX EXTENSION(S) AS REQUIRED
10. SCH 80 PVC UNION

J BALL VALVE INST.
NO SCALE



K PRIVATE SUB-METER
NO SCALE



1. 10" ROUND PLASTIC VALVE BOX WITH LOCKING LID
2. HEAT BRAND "QCV" ON LID IN 2" HIGH CHARACTERS
3. FINISH GRADE
4. 3/4" CRUSHED ROCK 4" DEEP
5. QUICK COUPLER PER LEGEND
6. PVC SCH 80 NIPPLE LENGTH AS REQUIRED
7. PVC SCH 80 STREET ELL TXT
8. PVC SCH 80 ELL - TXT
9. SCH 80 PVC MAINLINE FITTING
10. MAINLINE PIPING
11. WALK, CURB, OR WALL, ETC.
12. #4 REBAR, 18" MINIMUM LENGTH
13. STAINLESS STEEL CLAMP - 2" IN SHRUB AREAS.

L QUICK COUPLER VALVE IN LMD
NO SCALE



LANDSCAPE LOGIC
LIC# 942177
4455 MORENA BLVD. #110
SAN DIEGO, CA 92108
TONY VITALE
www.MyLandscapeLogic.com PH: 619.446.6482

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LANDSCAPE PLAN FOR:
EAST COUNTY CREMATORIUM
1034 MAGNOLIA AVE.
EL CAJON, CA 92020
APN: 463-074-29400

02 JUNE 2022

L3.0

OF 3 SHEETS

PHOTOMETRIC REPORT

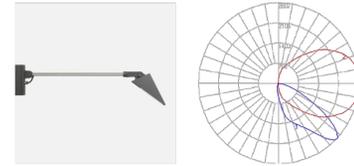
BEGA

Photometric Filename: 77238.ies
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 TEST LAB: BEGA
 DATE: 9/22/2015
 LUMINAIRE: 77 238
 LAMP: 2.1W LED



BEGA

File: 84100K4_BEGA_IES.ies
 TEST: BE_84100K4
 TEST LAB: BEGA
 DATE: 4/2/2018
 LUMINAIRE: 84 100K4
 LAMP: 19.4W LED



Characteristics

NEMA Type	6 H x 5 V
Maximum Candela	2606.8
Maximum Candela Angle	0H 47.5 V
Horizontal Beam Angle (50%)	72.1
Vertical Beam Angle (50%)	43.1
Horizontal Field Angle (10%)	116.1
Vertical Field Angle (10%)	30.40
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	50-80
Beam Lumens	1352
Beam Efficiency	N.A.
Field Lumens	2440
Field Efficiency	N.A.
Spill Lumens	228
Luminaire Lumens	2688
Total Efficiency	N.A.
Total Luminaire Watts	24
Ballast Factor	1.00

Zonal Lumen Summary

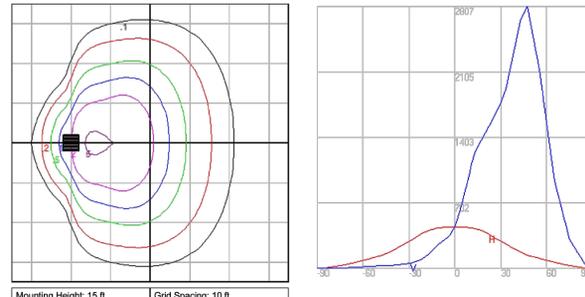
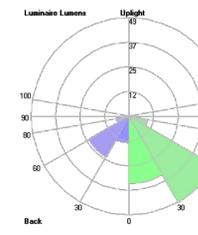
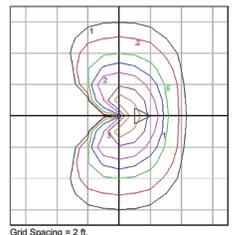
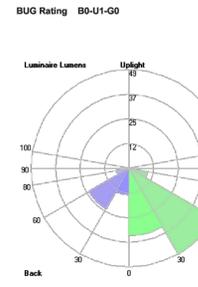
Zone	Lumens
0-10	49.06
10-20	176.48
20-30	302.56
30-40	433.21
40-50	605.12
50-60	595.63
60-70	345.94
70-80	130.48
80-90	22.27
90-100	0.00
100-110	0.00
110-120	0.00
120-130	0.00
130-140	0.00
140-150	0.00
150-160	0.00
160-170	0.00
170-180	0.00

Characteristics

IES Classification	Type I
Longitudinal Classification	Very Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	136
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	45
Total Luminaire Watts	3
Ballast Factor	1.00
Upward Waste Light Ratio	0.00
Max. Cd (352.5H, 12.5V)	85.8
Max. Cd (<90 Vert.)	85.8 (352.5H, 12.5V)
Max. Cd (At 90 Deg. Vert.)	.6 (0.4% Lum)
Max. Cd (80 to <90 Deg. Vert.)	4.6 (3.4% Lum)
Cutoff Classification (depreciated)	N.A. (absolute)

Lum. Classification System (LCS)

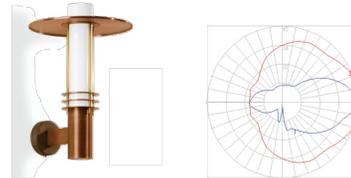
LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	33.4	N.A.	24.6
FM (30-60)	49.1	N.A.	36.1
FH (60-90)	9.4	N.A.	6.9
FVH(90-90)	0.6	N.A.	0.5
BL (0-30)	13.2	N.A.	9.7
BM (30-60)	23.1	N.A.	17.0
BH (60-90)	6.3	N.A.	4.7
BVH(90-90)	0.4	N.A.	0.3
UL (90-100)	0.2	N.A.	0.1
UHL (100-180)	0.3	N.A.	0.2
Total	136.0	N.A.	100.0



In the interest of product improvement, BEGA reserves the right to make technical changes without notice.
 BEGA 1000 Bega Way, Carpinteria, CA 93013 (805)684-0533 Fax (805)666-9474 www.bega-us.com © Copyright BEGA-US 2017 2/15/2017

BEGA

Photometric Filename: 31086.IES
 TEST: BE31086
 TEST LAB: BEGA
 DATE: 2/19/2015
 LUMINAIRE: 31 086
 LAMP: 5.3W LED

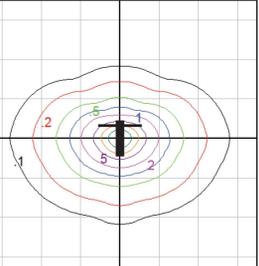
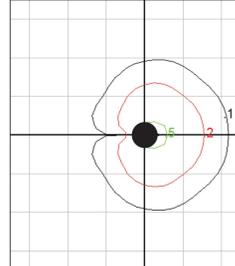


Characteristics

Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	268
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	38
Total Luminaire Watts	7
Ballast Factor	1.00
CIE Type	General Diffuse
Spacing Criterion (0-180)	N.A.
Spacing Criterion (90-270)	N.A.
Spacing Criterion (Diagonal)	N.A.
Basic Luminous Shape	Circular w/ Sides
Luminous Length (0-180)	0.00 ft
Luminous Width (90-270)	0.26 ft (Diameter)
Luminous Height	0.65 ft

Zonal Lumen Summary

Zone	Lumens
0-10	1.02
10-20	3.90
20-30	6.28
30-40	9.72
40-50	14.18
50-60	19.33
60-70	24.23
70-80	28.72
80-90	33.51
90-100	33.33
100-110	28.99
110-120	23.02
120-130	16.39
130-140	10.28
140-150	6.62
150-160	4.70
160-170	2.87
170-180	0.85



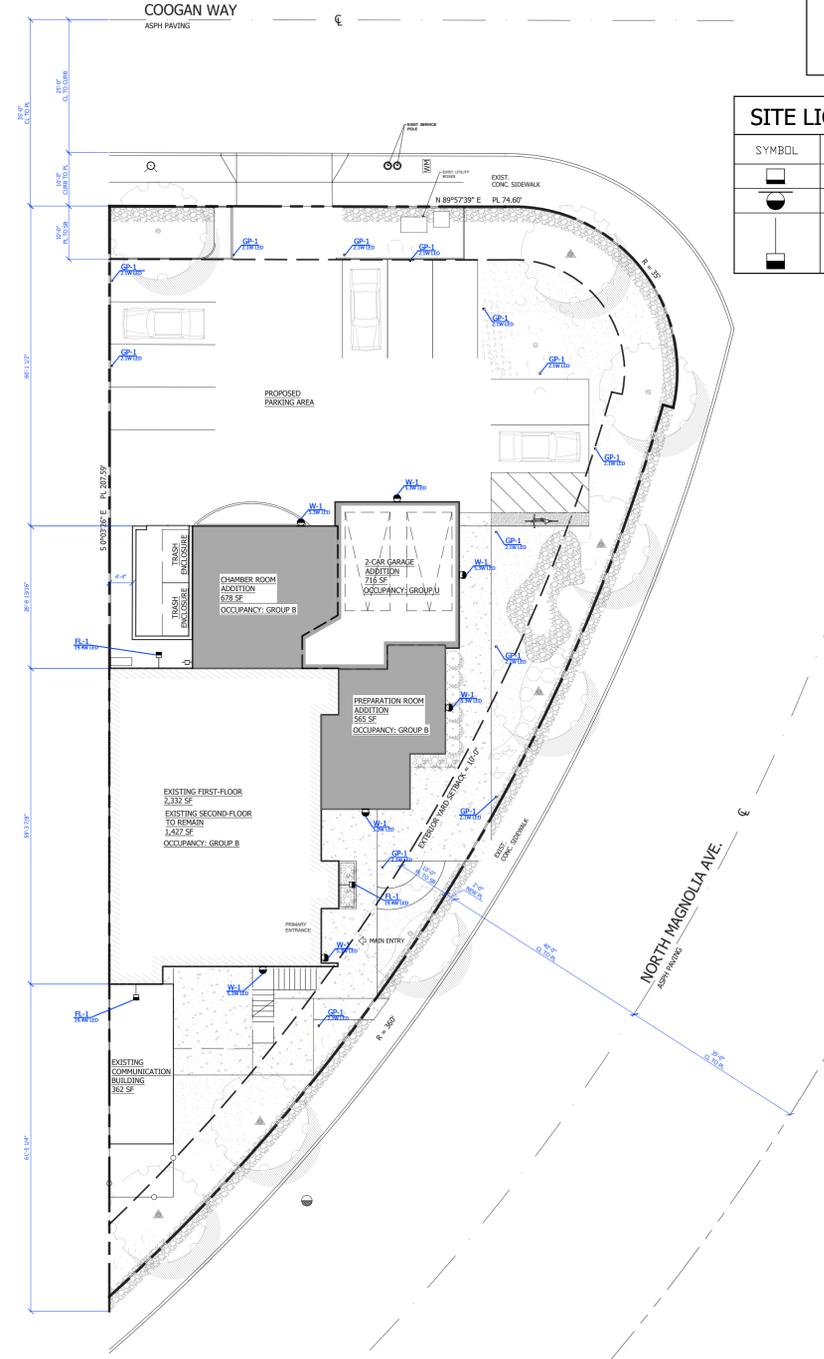
Wall Mount - Isogrid on Floor Grid Spacing = 5 ft. Mounting Height = 5 ft.
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LIGHTING CRITERIA

- ALL DEVELOPMENTS SHALL PROVIDE ADEQUATE LIGHTING FOR PEDESTRIAN AND VEHICULAR SAFETY AND BE SUFFICIENT TO MINIMIZE SECURITY PROBLEMS. HOWEVER, IN NO CASE SHALL LIGHTING ON ONE PROPERTY CREATE A NUISANCE ON ANY OTHER PROPERTY. AN ON-SITE LIGHTING PLAN FOR ALL PARKING AREAS, PEDESTRIAN WALKWAYS AND COMMON OPEN SPACE/RECREATION AREAS SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR ALL PROJECTS. (\$17,130.150)
- LUMINAIRES SHALL BE SHIELDED TO PREVENT THE SOURCE OF LIGHT FROM BEING SEEN FROM ADJACENT ROADWAYS AND PROPERTIES.

SITE LIGHTING SCHEDULE

SYMBOL	TYPE	MODEL	LAMP
	GP-1 (GARDEN BOLLARD)	BEGA 77238 WITH HARDSCAPE BASE	2.1W LED
	W-1 (WALL LUMINAIRE)	BEGA 31086 WITH SHADE	5.3W LED
	FL-1 (SURFACE WASHER FLOODLIGHT - OUTRIGGER ARM)	BEGA 84100	19.4W LED



SITE PLAN LEGEND

PROPERTY LINE	---
SETBACK LINE	---
AREA OF ADDITION (CONDITIONED SPACE)	
AREA OF GARAGE ADDITION	
AREA OF PROPOSED LANDSCAPING	
PATH OF TRAVEL	
EXISTING FIRE HYDRANT	

CONCEPT SITE LIGHTING PLAN

SCALE: 1/16" = 1'-0"

12X16
 DESIGN WORKSHOP
 A 14211 GAMMA ST. SAN DIEGO CA 92113
 P: (619)946-0635
 F: (619)946-0635

KDG
 Kana Development Group



EAST COUNTY CREMATORIUM
 1034 NORTH MAGNOLIA AVENUE
 EL CAJON, CA 92020

SCALE
 DRAWN BY JRT/KDG
 DATE 9/08/2022

REVISIONS

NO.	DESCRIPTION

SHEET TITLE
CONCEPT LIGHTING PLAN

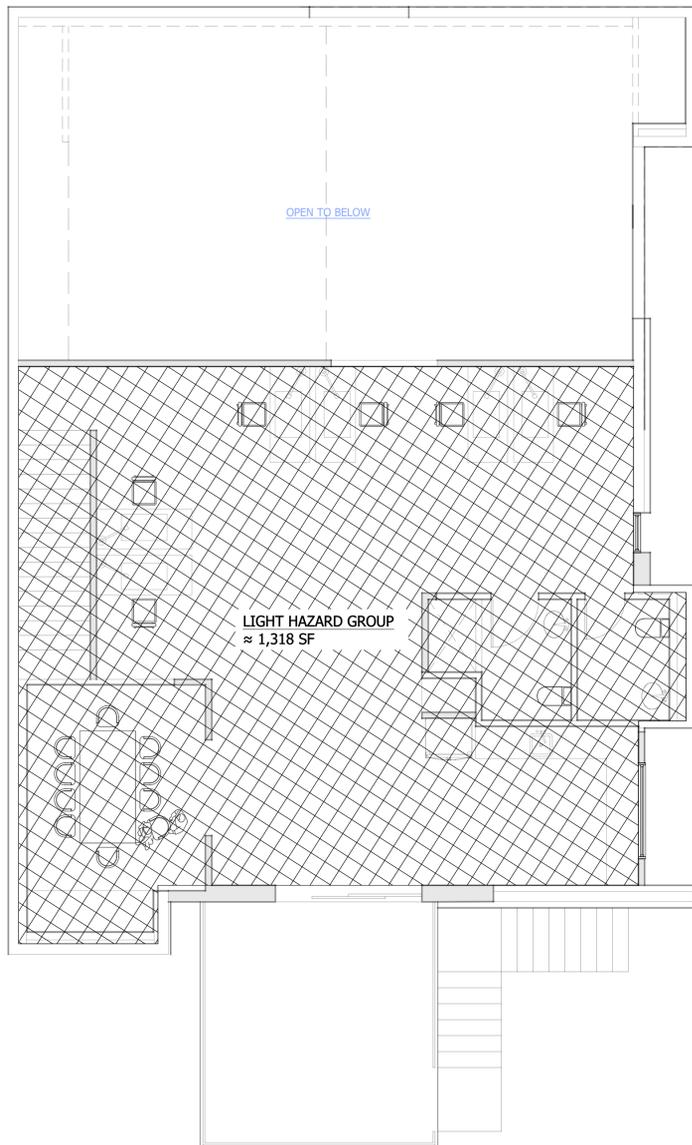
NOTE:
 SHOWN PROPERTY LINES ARE PER ASSESSOR'S PARCEL MAP NUMBER 2050

SHEET NO.
LP1.0

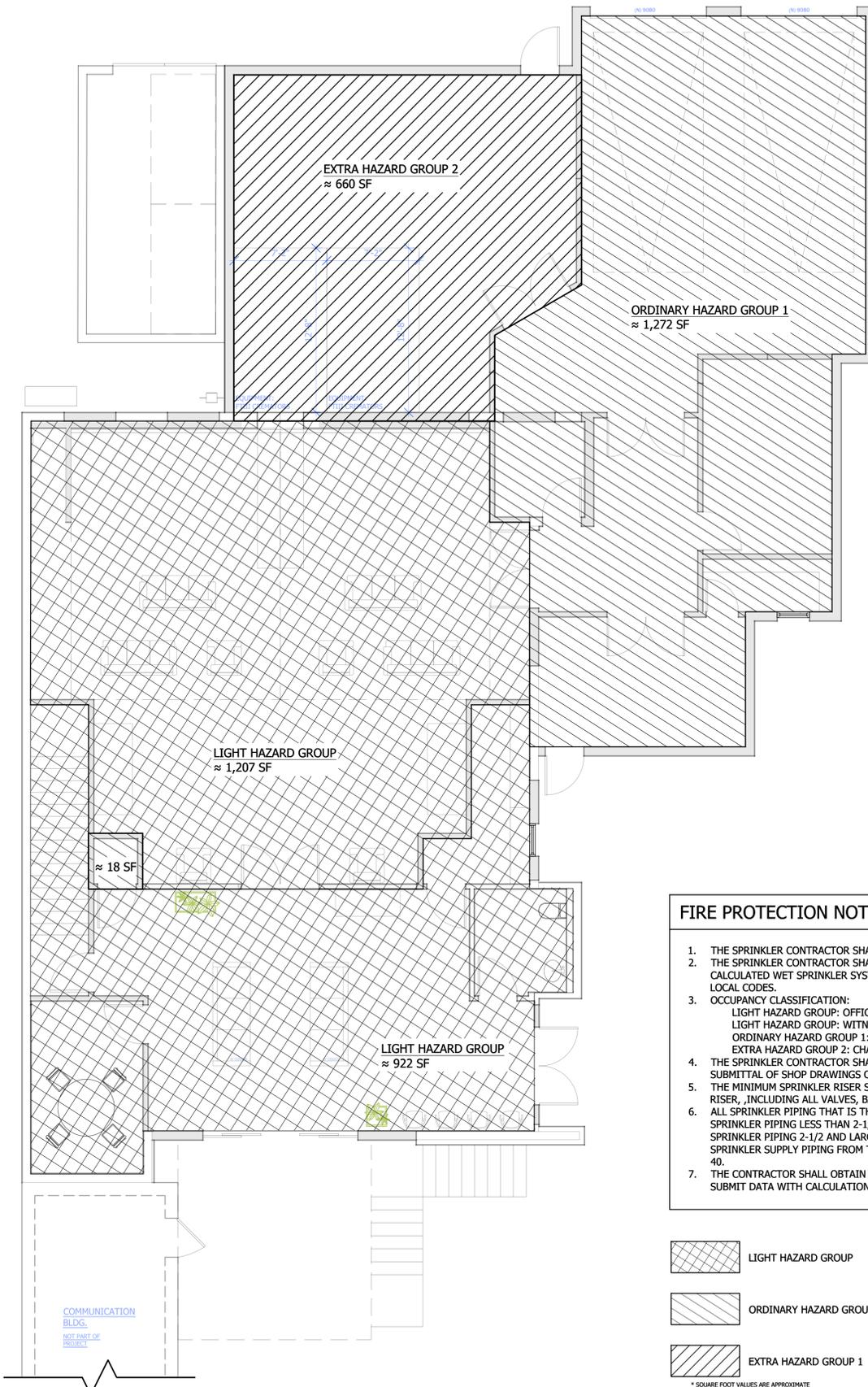
FIRE PROTECTION CONCEPT AND GENERAL REQUIREMENT

1. THE CONCEPT SHALL BE FINALIZED WITH A FULLY EXECUTED SET OF FIRE PROTECTION SHOP DRAWINGS BY A PROPERLY QUALIFIED TECHNICIAN.
2. THE SPRINKLER SYSTEM SHOWN IS CONCEPTUAL AND DIAGRAMMATIC ONLY. THE DESIGNER SHALL VERIFY FLOW REQUIREMENTS SHOWN ON SHEET. SHOP DRAWINGS FOR SPRINKLER SYSTEMS MUST INCLUDE AS A MINIMUM: LAYOUT OF RISERS, CROSS-MAINS, BRANCH LINES, SPRINKLER HEADS, SIZING OF PIPE, HANGER LOCATIONS, AND HYDRAULIC CALCULATIONS, IN ACCORDANCE WITH THE DESIGN CONCEPT.
3. THE FIRE PROTECTION CONTRACTOR SHALL PROVIDE COMPLETE FIRE SPRINKLING SYSTEMS, INCLUDING ALL ITEMS AS REQUIRED OR RECOMMENDED BY THE LOCAL FIRE DEPARTMENT.
4. ALL PIPING SHALL BE CONCEALED ABOVE CEILINGS EXCEPT IN AREAS WHERE NO CEILING OCCURS.
5. RUN SPRINKLING PIPING AS HIGH AS POSSIBLE IN SPACE ABOVE CEILING. PROVIDE OFFSETS UNDER STRUCTURAL MEMBERS AS REQUIRED.
6. IN AREAS WITH NO CEILING, PIPING TO BE RUN HIGH AS POSSIBLE TO COORDINATE WITH DUCTWORK.
7. FIRE PROTECTION SHOP DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR REVIEW AND ACCEPTANCE.
8. FIRE SPRINKLER SYSTEM SHALL COMPLY WITH NFPA 13, ALL LOCAL APPLICABLE CODES, NFPA 99 AS WELL AS NFPA 30 WHERE APPLICABLE.
9. PIPE SLEEVES THROUGH FIRE-RATED FLOORS, WALLS, PARTITIONS, AND CEILINGS SHALL BE OF FIRE-RATED CONSTRUCTION. SPACE BETWEEN PIPE AND SLEEVE SHALL BE PACKED WITH U.L. LISTED FIRE PROOFING MATERIAL.
10. FIRE SPRINKLER HEADS IN INDIVIDUAL ROOMS TO BE RUN IN STRAIGHT LINE AND COORDINATED WITH CEILING SYSTEM.
11. FIRE SPRINKLER CONTRACTOR SHALL COORDINATE HIS LOCATION OF PIPING WITH THE ARCHITECTURAL, STRUCTURAL AND MECHANICAL PLANS.
12. HEAD GUARDS TO BE PROVIDED IN ACCORDANCE WITH NFPA.
13. FIRE SPRINKLER TEST VALVES TO BE LOCATED IN AREAS CONVENIENT TO MAINTENANCE PERSONNEL.
14. FIRE SPRINKLER TEST VALVE LINES SHALL BE RUN CONCEALED IN WALL.
15. FIRE SPRINKLER CONTRACTOR SHALL OBTAIN LATEST TEST PRESSURE DATA FROM LOCAL WATER DEPARTMENT FOR CALCULATIONS.

REVISIONS



SECOND FLOOR CONCEPTUAL PLAN
SCALE: 3/16" = 1'-0"
N



FIRST FLOOR CONCEPTUAL PLAN
SCALE: 3/16" = 1'-0"
N

FIRE PROTECTION NOTES

1. THE SPRINKLER CONTRACTOR SHALL BE CURRENTLY LICENSED IN THE STATE OF CALIFORNIA.
2. THE SPRINKLER CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE HYDRAULICALLY CALCULATED WET SPRINKLER SYSTEM. DESIGN SHALL BE IN ACCORDANCE WITH THE CURRENT LOCAL CODES.
3. OCCUPANCY CLASSIFICATION:
LIGHT HAZARD GROUP: OFFICE SPACE
LIGHT HAZARD GROUP: WITNESS CREMATION ROOM
ORDINARY HAZARD GROUP 1: MECHANICAL ROOMS
EXTRA HAZARD GROUP 2: CHAMBER ROOM
4. THE SPRINKLER CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL CONTRACTOR PRIOR TO SUBMITTAL OF SHOP DRAWINGS OR FABRICATION OF PIPING SPOOLS.
5. THE MINIMUM SPRINKLER RISER SHALL BE 4' FROM THE BASE OF THE RISER TO THE TOP OF THE RISER, INCLUDING ALL VALVES, BACKFLOW PREVENTER, ETC.
6. ALL SPRINKLER PIPING THAT IS THREADED SHALL BE SCHEDULE 40. ASTM A53 OR A106. ALL SPRINKLER PIPING LESS THAN 2-1/2" IN DIAMETER SHALL BE SCHEDULE 40. ASTM A53 OR A106. ALL SPRINKLER PIPING 2-1/2" AND LARGER SHALL BE SCHEDULE 10 OR THICKER. ASTM A53 OR A106. ALL SPRINKLER SUPPLY PIPING FROM THE STREET MAIN TO THE SPRINKLER RISER SHALL BE SCHEDULE 40.
7. THE CONTRACTOR SHALL OBTAIN NEW FLOW TEST DATA ON THE CLOSEST CITY WATER MAIN AND SUBMIT DATA WITH CALCULATIONS.

	LIGHT HAZARD GROUP	(3,447) SF	.10 GPM/SF
	ORDINARY HAZARD GROUP 1	(1,290) SF	.15 GPM/SF
	EXTRA HAZARD GROUP 1	(660) SF	.30 GPM/SF

* SQUARE FOOT VALUES ARE APPROXIMATE



January 13, 2023

Noah Alvey
Deputy Director of Community Development
City of El Cajon

Re: Proposed Crematorium at 1034 N. Magnolia Avenue, El Cajon, CA

Dear Mr. Alvey:

I am General Counsel of Gershman Properties, LLC (“Gershman”), which is the owner of the Fletcher Marketplace, located at 110 and 120 Fletcher Parkway in El Cajon (the “Shopping Center”).

Gershman strongly recommends that the El Cajon Planning Commission (the “Commission”) deny the issuance of Conditional Use Permit No. 2022-0005 which would allow the property located at 1034 N. Magnolia Avenue to be operated as a crematorium. We believe that this use is entirely inconsistent with the Shopping Center in which Gershman has invested many millions of dollars and with the other commercial ventures in the immediate area, including the Home Depot and the hotel (Hampton Inn). We believe that the presence of the crematorium in the immediate area will impede our ability to attract high quality tenants to the area, which will limit job creation and hurt tax revenues for the City. We believe that a use such as a crematorium is much better suited for an industrial area.

Please feel free to contact me should you have any comments or questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'K. Schelberg', written over a faint, larger version of the signature.

Kenneth J. Schelberg
General Counsel

GERSHMAN PROPERTIES



Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	5
Project Name:	Vacationer RV Park
Request:	Expand RV Park
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	APPROVE
Project Number:	Conditional Use Permit (CUP) No. 2022-0008
Location:	1581 East Main Street
Applicant:	RV Capital Group, LLC; 619-850-0343
Project Planner:	Spencer Hayes; 619-441-1656; shayes@elcajon.gov
City Council Hearing Required?	No
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order, approving the CEQA exemption and CUP No. 2022-0008 subject to conditions.

PROJECT DESCRIPTION

This project proposes to incorporate an additional parcel within the conditional use permit ("CUP") area for a recreational vehicle ("RV") park. The proposal includes 27 new RV parking spaces while four existing spaces will be lost to accommodate new drive aisles. This equates to a net gain of 23 spaces for a park total of 181 spaces. The new RV parking spaces would be served by sewer, electrical, and water utilities ("hookups"). The area of RV park expansion spans portions of the current RV park parcel, as well as the additional parcel. The project proposes to utilize pervious pavers for new drive aisles for storm water compliance and to provide circulation and emergency vehicle access. The subject property is located on the south side of East Main Street between Interstate 8 and Broadway, and is addressed as 1581 East Main Street.

BACKGROUND

General Plan:	General Commercial (GC)
Specific Plan:	N/A
Zone:	General Commercial (C-G); Mixed-use Residential Required (MU-RR)
Other City Plan(s):	Legacy Permit - CUP No. 514
Regional and State Plan(s):	None
Notable State Law(s):	None

Project Site & Constraints

Including the additional 41,380 square foot parcel, the total project site is roughly 314,500 square feet (7.22 acres). The additional parcel is landlocked, having no access to a public right-of-way. The parcel in question is enclosed by the RV park to the north, west, and east, and Interstate 8 to the south. Currently, the proposed expansion area is informally utilized for RV, trailer, and vehicle storage. The parcel is former Caltrans right-of-way and is currently under the same ownership as the RV park.

Surrounding Context

The site is located between East Main Street and Interstate 8, which includes a mix of commercial, social service, and residential uses. Properties surrounding the site are developed and zoned as follows:

Direction	Zones	Land Uses
North	C-G	Pernicano's Restaurant
South	N/A	Interstate 8
East	C-G	El Cajon Ford - Auto Dealership
West	C-G	East County Transitional Living Center, Extra Space storage, & Residential uses

General Plan

The project site is designated General Commercial ("GC") on the General Plan Land Use Map. As described in the Land Use Element, GC designation is intended to include a range of commercial retail and office uses.

Zoning Code

RV parks or travel trailer parks are no longer a recognized use in the Commercial Land Use Table in El Cajon Municipal Code ("ECMC") section 17.145.150. Therefore, the use as a RV or trailer park is legal nonconforming and is subject to nonconforming regulations in ECMC Chapter 17.120. Pursuant to ECMC section 17.120.050, the El Cajon Planning Commission may authorize the expansion of a legal nonconforming use via CUP, as requested. Section 17.120.050 also states that the Planning Commission may require that a specific termination date be set for the use in the conditions of approval. Staff have not recommended a termination date. It should be noted that the Planning Commission may decide to revisit the CUP to require additional conditions or consider revocation should the use become a nuisance or operate contrary to ongoing conditions of approval.

The two parcels are also within the MU-RR overlay zone, which is intended to transition certain areas to walkable districts including commercial retail, offices, and residential uses.

CUP No. 514

CUP No. 514 was authorized in January 1973, at a time when ECMC allowed such uses. The approved CUP included 160 travel trailer parking spaces with incidental facilities –

recreation room, laundry and store room, and manager apartments. The CUP required that the facilities be used for "transient use for travel trailers, motor homes, and campers", hookups for all RV parking spaces, on-site lighting, and maintenance of landscaped areas, among other built and operational requirements. In 2014, a substantial conformance review was approved for a new driveway, vehicle gate, and fence, which reduced the total number of RV spaces to 158.

DISCUSSION

Land Use

As discussed previously, CUP No. 514 authorized development of a transient trailer park, and the subject project proposes to expand the park by incorporating a vacant, landlocked parcel and installing hookups for additional RV parking. Based on aerial imagery records, the additional parcel appears to have been utilized for RV storage informally for multiple decades. The project aims to formalize use of the site, which is otherwise inaccessible from a public street.

Circulation

The site currently includes a one-way circulation system with a minimum 20-foot wide drive aisle. The proposed expansion adds an additional one-way street with a minimum width of 24 feet, which connects back to the existing development. The proposed street is constructed of pervious pavers, capable of supporting emergency vehicles, and helping the development to meet storm water regulations. Parking spaces are angled to facilitate one-way circulation typical for an RV park and are shown at standard 45-foot by 20-foot dimensions.

Landscaping & Lighting

Conditions of approval require continued maintenance of the existing landscaped areas, which are in good condition. Consistent with Chapter 17.195 of the ECMC, conditions of approval require a landscape documentation package ("LDP") for new or rehabilitated landscape areas exceeding codified area thresholds. Chapter 17.195 requires a combination of trees, shrubs, and ground cover, as well as a permanent irrigation system with controller. The site plan shows trees at regular intervals near the new parking spaces.

The project proposes three additional street lights within the park. Conditions of approval require a photometric analysis to confirm onsite lighting is sufficient for pedestrian and vehicular safety, and would not constitute a nuisance for adjacent properties.

FINDINGS

The Commission shall approve issuance of the permit upon meeting the CUP findings listed in section 17.120.060 for nonconforming uses and structures. If the Commission can make all findings, it must approve the issuance of the CUP. The findings for expansion of a legal nonconforming use are as follows:

- A. *The strict or literal interpretation and enforcement of the specified regulations within this section would result in practical difficulty of unnecessary hardship.*

The Commercial Land Use Table no longer recognizes RV parks as a permitted use in the C-G zone. However, ECMC Chapter 17.120 for nonconforming uses and structures recognizes that some nonconforming uses will continue to exist and operate successfully, and therefore, establishes the CUP process to limit discrepancy between existing conditions and standards prescribed by Title 17. The project makes utilization of an otherwise landlocked and unutilized property. Few alternatives for development exist which would not cause practical difficulty or unnecessary hardship.

- B. *The approval of the conditional use permit will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.*

Through compliance with proposed conditions of approval, the expansion and normal operation of a RV park will not be detrimental to public health or safety. The existing RV park has successfully operated alongside commercial and residential uses since 1973, and a net increase of 23 RV parking spaces will not be materially injurious to surrounding properties.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act ("CEQA") according to section 15303, Class 3 (New Construction) of the CEQA Guidelines. Section 15303 provides an exemption for a limited number of small facilities or structures, including water main, sewage, gas, and street improvements of reasonable length to service a project. The project proposes a pervious paver drive aisle and utility connections for the new 27 RV parking spaces. Therefore, the project meets criteria for a Class 3 new construction exemption. None of the exemptions listed under CEQA Guidelines section 15300.2 exist.

PUBLIC NOTICE & INPUT

Notice of this public hearing was mailed on January 5, 2023, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with Government Code sections 65090, 65091, and 65092, as applicable. Additionally, as a public service, the notice was posted in the kiosk at City Hall and on the City's website. No comments were received in response to the public hearing notice.

RECOMMENDATION

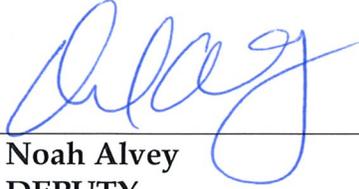
Staff is recommending approval of CUP No. 2022-0008 to incorporate an additional parcel within the CUP area for an RV park and expand the number of RV parking spaces, with hookups.

PREPARED BY:



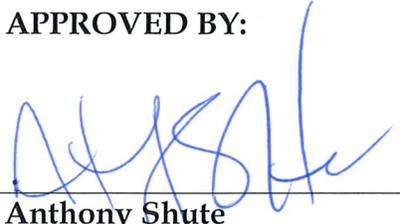
**Spencer Hayes
ASSOCIATE
PLANNER**

REVIEWED BY:



**Noah Alvey
DEPUTY
DIRECTOR OF
COMMUNITY
DEVELOPMENT**

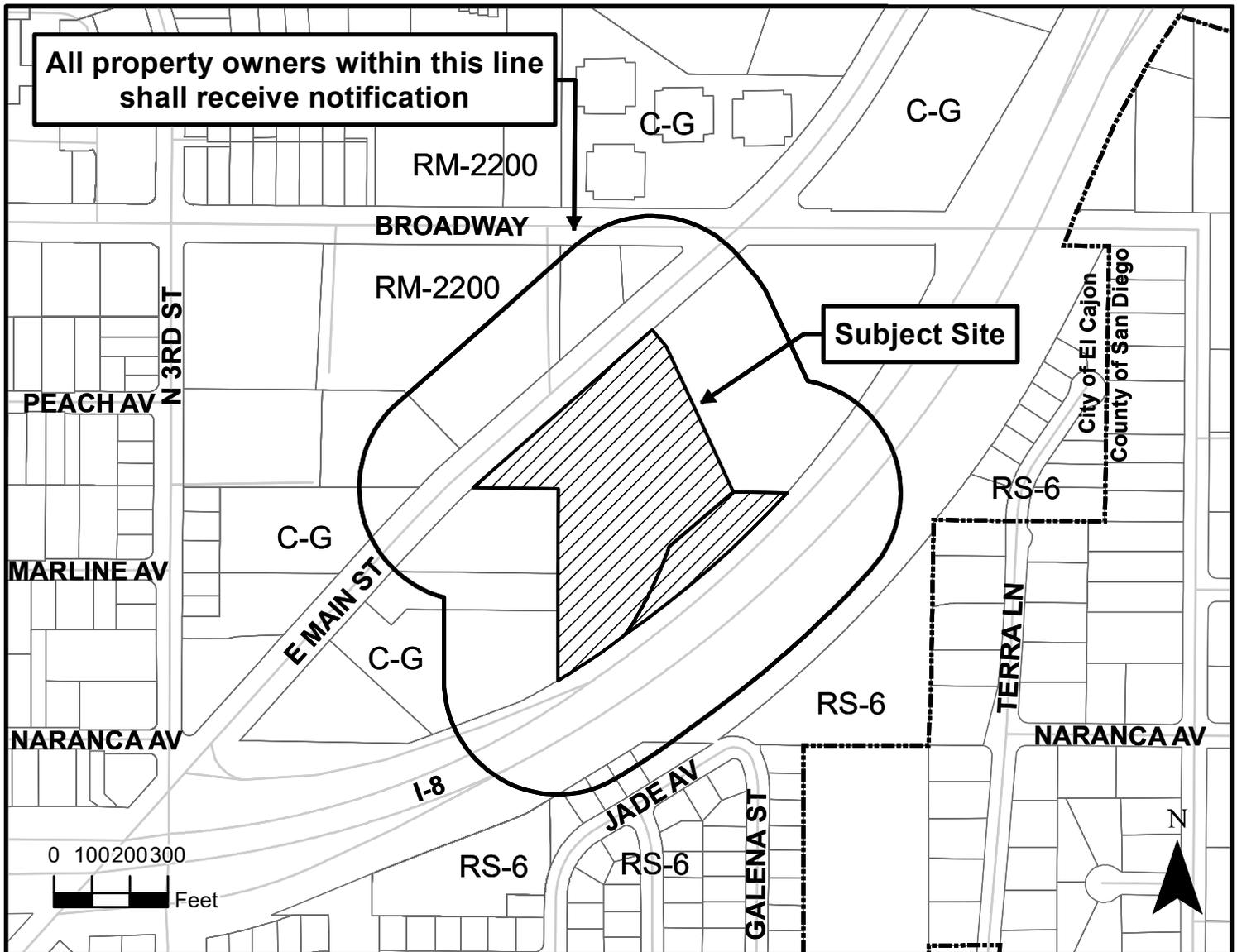
APPROVED BY:



**Anthony Shute
DIRECTOR OF
COMMUNITY
DEVELOPMENT**

ATTACHMENTS

1. Public Hearing Notice/Location Map
2. Proposed Resolution APPROVING CEQA Exemption
3. Proposed Resolution APPROVING CUP No. 2022-0008
4. Aerial Photograph of Subject Site
5. Application & Disclosure Statement
6. Project Site Plan



**NOTICE OF PROPOSED
CONDITIONAL USE PERMIT
VACATIONER RV RESORT**

NOTICE IS HEREBY GIVEN that the El Cajon Planning Commission will hold a public hearing at **7:00 p.m., Tuesday, January 17, 2023** in the City Council Chambers, 200 Civic Center Way, El Cajon, CA, to consider:

CONDITIONAL USE PERMIT (CUP) NO. 2022-0008, as submitted by Omega Engineering Consultants, Inc. on behalf of RV Capital Group, LLC, requesting to incorporate an additional parcel within the CUP area for added RV parking spaces with utility hookups. The subject property is located on the south side of East Main Street between Interstate 8 and Broadway, and is addressed as 1581 East Main Street, APNs 507-310-39-00 & 507-310-44-00. This project is exempt from the California Environmental Quality Act (CEQA).

The public is invited to attend and participate in this public hearing. The agenda report for this project will be available 72 hours prior to the Planning Commission meeting at <https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all>. In an effort to reduce the City's carbon footprint, paper copies will not be provided at the public hearing, but will be available at City Hall in the Project Assistance Center upon request.

If you challenge the matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Commission, or prior to, the public hearing. The City of El Cajon encourages the participation of disabled individuals in the services, activities, and programs provided by the City. Individuals with disabilities who require reasonable accommodation in order to participate in the public hearing should contact Planning at 619-441-1742. More information about planning and zoning in El Cajon is available at <http://www.elcajon.gov/your-government/departments/community-development/planning-division>.

If you have any questions, or wish any additional information, please contact **SPENCER HAYES** at 619-441-1742 or via email at shayes@elcajon.gov and reference "CUP-2022-0008" in the subject line.

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") EXEMPTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) FOR CONDITIONAL USE PERMIT NO. 2022-0008 FOR THE EXPANSION OF A LEGAL NONCONFORMING RECREATIONAL VEHICLE PARK AND CONSTRUCTION OF UTILITY HOOKUPS ON THE SOUTH SIDE OF EAST MAIN STREET BETWEEN INTERSTATE 8 AND BROADWAY IN THE C-G ZONE, MU-RR OVERLAY ZONE, APN 507-310-39-00 & 507-310-44-00, GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on January 17, 2023, to consider Conditional Use Permit No. 2020-0008, as submitted by Omega Engineering Consultants, Inc. on behalf of RV Capital Group, LLC, Inc., requesting incorporation of an additional parcel under the governing conditional use permit for Vacationer RV Park and construction of a new pervious paver drive aisle and utility hookups for 27 new RV parking spaces in the C-G zone, MU-RR overlay zone, on the south side of East Main Street between Interstate 8 and Broadway, and addressed as 1581 East Main Street, APNs: 507-310-39-00 & 507-310-44-00; and

WHEREAS, in accordance with CEQA Guidelines section 150061(b)(2), the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, the project proposes incorporation of an additional parcel under the governing conditional use permit for Vacationer RV Park and construction of a new pervious paver drive aisle and utility hookups for 27 new RV parking spaces; and

WHEREAS, it is proposed that the project is exempt from CEQA under section 15303, Class 3 (New Construction or Conversion of Small Structures) of CEQA Guidelines, which provides an exemption for a limited number of small facilities or structures, including water main, sewage, gas, and street improvements of reasonable length to service a project; and

WHEREAS, no evidence was presented in proceedings that any of the conditions exist to provide exceptions to categorical exemptions as described in CEQA Guidelines section 15300.2, exist; and

WHEREAS, section 15303 is an appropriate exemption for the proposed project and the record of proceedings contains evidence to support the determination that the Class 3 Categorical Exemption applies; and

Proposed Planning Commission Resolution

WHEREAS, after considering evidence and facts, the Planning Commission did consider the proposed CEQA exemption as presented at its meeting; and

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to the proposed exemption for the expansion of Vacationer RV Park by incorporating an additional parcel and construction of utility hookups.

Section 2. That based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES the proposed CEQA exemption for Vacationer RV Park.

[REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK]

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held January 17, 2022, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Vice Chair

ATTEST:

Noah ALVEY, Secretary

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CONDITIONAL USE PERMIT NO. 2022-0008 FOR THE EXPANSION OF A LEGAL NONCONFORMING RECREATIONAL VEHICLE PARK AND CONSTRUCTION OF DRIVE AISLE AND UTILITY HOOKUPS ON THE SOUTH SIDE OF EAST MAIN STREET BETWEEN INTERSTATE 8 AND BROADWAY IN THE C-G ZONE, MU-RR OVERLAY ZONE, APN: 507-310-39-00 & 507-310-44-00, GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on January 17, 2023, to consider Conditional Use Permit No. 2020-0008, as submitted by Omega Engineering Consultants, Inc. on behalf of RV Capital Group, LLC, Inc., requesting incorporation of an additional parcel under the governing conditional use permit for Vacationer RV Park and construction of a new pervious paver drive aisle and utility hookups for 27 new RV parking spaces in the C-G zone, MU-RR overlay zone, on the south side of East Main Street between Interstate 8 and Broadway, and addressed as 1581 East Main Street, APNs: 507-310-39-00 & 507-310-44-00; and

WHEREAS, the El Cajon Planning Commission approved the next resolution in order approving the California Environmental Quality Act ("CEQA") section 15303 exemption; and

WHEREAS, at the public hearing the Planning Commission received evidence through public testimony and comment in the form of verbal and written communications, and reports prepared and presented to the Planning Commission, including (but not limited to) evidence such as the following:

- A. The Commercial Land Use Table no longer recognizes RV parks as a permitted use in the C-G zone. However, El Cajon Municipal Code Chapter ("ECMC") 17.120 for nonconforming uses and structures recognizes that some nonconforming uses will continue to exist and operate successfully, and therefore, establishes the Conditional Use Permit ("CUP") process to limit discrepancy between existing conditions and standards prescribed by Title 17 of the ECMC (the "Zoning Code"). The project makes utilization of an otherwise landlocked and unutilized property. Few alternatives for development exist which would not cause practical difficulty or unnecessary hardship.
- B. Through compliance with proposed conditions of approval, the expansion and normal operation of a RV park will not be detrimental to public health or safety. The existing RV park has successfully operated alongside commercial and residential uses since 1973, and a net increase of 23 RV parking spaces will not be materially injurious to surrounding properties.

NOW, THEREFORE, BE IT RESOLVED that, based upon said findings, the El Cajon Planning Commission hereby APPROVES Conditional Use Permit No. 2022-0008 for incorporation of an additional parcel under the governing conditional use permit for Vacationer RV Park and construction of a new pervious paver drive aisle and utility hookups for 27 new RV parking spaces on the above described property subject to the following conditions:

Planning

1. Prior to the issuance of building permits, or as otherwise determined by the Director of Community Development, the applicant shall submit and obtain approval of a one-page, digital site plan for Conditional Use Permit No. 2022-0008 that includes the following specific notes and changes:
 - A. Include the following note: "This project shall comply with the Standard Conditions of Development from Planning Commission Resolution No. 10649, as applicable."
 - B. The site plan shall reflect the applicable comments and include all of the required notes from the Engineering conditions contained below.
 - C. Include notes listing the ongoing conditions of approval contained below.
 - D. The vicinity map shall be relocated to the bottom left corner of the site plan.
2. Prior to the issuance of building permits, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
 - A. Comply with the Engineering comments to the satisfaction of the City Engineer and the Director of Community Development.
 - B. Submit a landscape documentation package ("LDP") for new landscaped areas exceeding 500 square feet and/or rehabilitated landscape area exceeding 2,500 square feet. The LDP shall comply with Zoning Code Chapter 17.195 for water efficient landscaping.
 - C. Submit a photometric analysis showing adequate lighting for pedestrian and vehicular safety for the new park area. Lighting shall not constitute a nuisance on any other property.
3. Prior to building permit final, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
 - A. Satisfy all requirements of the Building and Engineering conditions contained in this resolution of approval.
 - B. Complete installation of landscaping and irrigation systems and submit the Certificate of Completion, signed by the professional of record for the LDP.

Proposed Planning Commission Resolution

4. The applicant shall comply with the conditions listed in the “Standard Conditions of Development” attached to this resolution.
5. CUP-2022-0008 authorizes a net increase of 23 RV parking spaces, for a new total of 181 RV parking spaces. 27 new RV parking spaces are authorized, with 4 spaces lost for drive aisle access.
6. The site shall be used for transient RV, trailer, and camper parking only. No tent camping is permitted.
7. The park shall be adequately lit to ensure pedestrian and vehicular safety and to minimize security problems.
8. All RV parking spaces shall contain complete facilities for utilities including electricity, water, and waste disposal.
9. All landscaping at the site shall be maintained in good growing condition. Such maintenance shall include, where appropriate, pruning, mowing, weeding, cleaning of debris and trash, fertilizing and regular watering. Whenever necessary, dead or dying plants shall be replaced with other plant materials to ensure continued compliance with applicable landscaping requirements. Required irrigation systems shall be fully maintained in sound operating condition with heads periodically cleaned and replaced when missing to ensure continued regular watering of landscape areas, and health and vitality of landscape materials.
10. The use shall be operated in a manner that is compatible at all times surrounding properties and uses.
11. The existence of this CUP shall be recorded with the County Recorder.
12. The proposed use shall be operated substantially as presented in the Planning Commission staff report titled CUP No. 2022-0008, dated January 17, 2023, except as modified by this resolution. Operation of the use in violation of the conditions of approval is grounds for revocation.
13. If this permit is not legally exercised within two years of project approval, and a written request for an extension of time has not been received and subsequently approved by the Planning Secretary within the same time period, this conditional use permit shall be considered null and void pursuant to Zoning Code section 17.35.010.
14. The Planning Commission may at any time during the life of this use permit, after holding a properly noticed public hearing, and after considering testimony as to the operation of the approved use, revoke the permit, or modify the permit with any additional conditions as it deems necessary, to ensure that the approved use continues to be compatible with surrounding properties and continues to be operated in a manner that is in the best interest of public convenience and necessity and will not be contrary to the public health, safety or welfare. At such hearing the applicant may appear and object under applicable law to any potential revocation or modification of the conditions of approval.

Engineering and Storm Water

15. This project is a Standard Development Project and is subject to the requirements listed below. An increase in impervious areas associated with the project may result in additional requirements.

- A. Submit subsequent Storm Water Forms I-4 and I-5 and implement applicable Best Management Practices ("BMP") including site design and source control BMPs. All applicable storm water BMP features shall be shown on site plans and landscaping plans. Please refer to the City of El Cajon BMP Design Manual for additional information: <https://www.elcajon.gov/i-want-to/view/documents-forms-library/-folder-137>
- B. Prepare an Erosion Control Plan ("ECP") in compliance with the City's 2015 Jurisdictional Runoff Management Plan ("JRMP") and include the plan with your construction documents. Please refer to the JRMP for additional information: <https://www.elcajon.gov/home/showpublisheddocument/4644/635938328735000000>
- C. Add the following note to the Conditional Use Permit site plan:
All operations shall comply with the JRMP and the City's Storm Water Ordinance (ECMC Chapters 13.10 and 16.60) to minimize or eliminate discharges of pollutants to the storm drain system. Operations shall include implementation of industrial Best Management Practices (BMPs) in accordance with Appendix C (Minimum BMPs)."

Building Safety

16. A building permit is required for this project.

[REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK]

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held January 17, 2023, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Vice Chair

ATTEST:

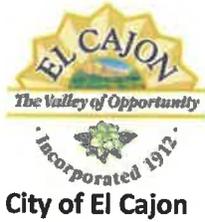
Noah ALVEY, Secretary

Aerial Image

CUP-2022-0008

1581 East Main Street





Project Assistance Center
PLANNING PERMIT APPLICATION

Type of Planning Permit(s) Requested:

<input type="checkbox"/> AZP Administrative Zoning Permit	<input checked="" type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> LLA Lot Line Adjustment	<input type="checkbox"/> MA Minor Amendment
<input type="checkbox"/> MUP Minor Use Permit	<input type="checkbox"/> PRD Planned Residential Development	<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SDP Site Development Plan Permit
<input type="checkbox"/> SP Specific Plan	<input type="checkbox"/> SCR Substantial Conformance Review	<input type="checkbox"/> TPM Tentative Parcel Map	<input type="checkbox"/> TSM Tentative Subdivision Map
<input type="checkbox"/> VAR Variance	<input type="checkbox"/> ZR Zone Reclassification	<input checked="" type="checkbox"/> Other: <u>Modification to CUP 514</u>	

Project Location

Parcel Number (APN): 507-310-3900 & 507-310-4400

Address: 1581 E. Main Street, El Cajon, CA 92021

Nearest Intersection: Main Street & Broadway

Project Description (or attach separate narrative)

Proposed expansion of an existing Mobile Home Park CUP 514. The project proposes to install 27 new stalls.

This results in an increase the parking spaces from 160 spaces to 181 spaces (4 existing spaces lost to new

drive aisles). The project proposes to use permeable pavement to avoid stormwater treatment requirements.

Associated utilities will also be installed to service the new parking spaces.

Project Screening Questions

- Existing use? No Yes
- Modification of use? No Yes
- New development or addition? No Yes
- Existing Structures? No Yes

If yes, please describe:

Mobile Home Park

Addition to existing use

Age of the structures: Unknown

Demolition or substantial modification proposed to site improvements or structures? No Yes _____

Tenant improvements proposed? No Yes _____

Existing vegetation or trees on site proposed for removal? No Yes No modification to ex trees

Proposed grading? No Yes Proposed quantities of cut and/or fill.

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name: RV Capital Group, LLC a California Limited Liability Company
 Reza Paydar

Contact Name: _____

Mailing Address: 1581 E. Main Street, El Cajon, CA 92021

Phone: 619-850-0343 Email: hamid@aidevco.com

Interest in Property: Own Lease Option

Project Representative Information (if different than applicant; consultant information here)

Company Name: Omega Engineering Consultants, Inc.

Contact Name: Cole Stafford License: RCE 88784

Mailing Address: 4340 Viewridge Ave. Suite B, San Diego, CA 92123

Phone: (858) 634-8620 Email: cole@omega-consultants.com

Property Owner Information (if different than applicant)

Company Name: _____

Contact Name: _____

Mailing Address: 7855 Herschel Ave Suite 201 La Jolla, CA 92037

Phone: 858-456-9201 Email: _____

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: _____ Date of List: _____

Authorization

Applicant Signature¹:



Date:

3/14/2022

Property Owner
Signature²:



Date:

3/14/2022

1. **Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
2. **Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

Pre-application Conference

The purpose of a pre-application conference is to provide you an opportunity to review your project with City staff in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. **A pre-application is required unless waived by staff.**

Conference date: _____

Application Submittal

To submit your application, it **must be done by appointment** scheduled in advance for all Level 3, 4, & 5 project reviews, unless waived by staff. It is recommended for projects that will subsequently meet the criteria for a Level 1-C review through Level 2.

Appointment date: _____



Disclosure Statement

This statement is intended to identify and avoid potential conflicts of interest that may exist between the project proponents and the decision makers; including City staff, Planning Commissioners, and City Council members.

The following information must be disclosed:

1. List the names and addresses of all persons having a financial interest in the application.

<u>RV Capital Group, LLC a</u>	<u>California Limited Liability Company</u>
<u>1581 E. Main Street</u>	<u>El Cajon, CA 92021</u>

List the names and address of all persons having any ownership interest in the property involved.

<u>RV Capital Group, LLC a</u>	<u>California Limited Liability Company</u>
<u>1581 E. Main Street</u>	<u>El Cajon, CA 92021</u>

2. If any person identified pursuant to (1) above is a corporation or partnership, list the names and addresses of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

<u>REZA PAYDAR</u>	<u>_____</u>
<u>_____</u>	<u>_____</u>

3. If any person identified pursuant to (1) above is a trust, list the name and address of any person serving as trustee or beneficiary or trustor of the trust.

<u>_____</u>	<u>_____</u>
<u>_____</u>	<u>_____</u>

4. Have you or your agents transacted more than \$500.00 worth of business with any member of City staff, Boards, Commissions, Committees and Council within the past 12 months or \$1,000.00 with the spouse of any such person? Yes _____ No

If yes, please indicate person(s), dates, and amounts of such transactions or gifts.

"Person" is defined as "Any individual, proprietorship, firm, partnership, joint venture, syndicate, business trust, company, corporation, association, committee, and any other organization or group of persons acting in concert." Gov't Code §82047.



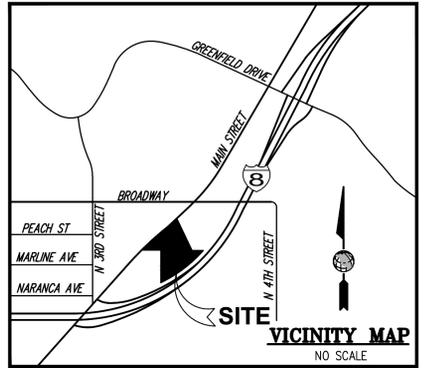
Signature of applicant / date



Print or type name of applicant

NOTE: Attach appropriate names on additional pages as necessary.

CONDITIONAL USE PERMIT - 514

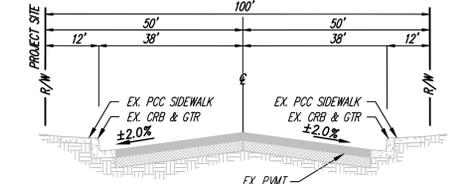


RV SPACE TABLE

EXISTING STALL COUNT	160 SPACES
PARKING SPACES PER PLAN DATED 4/22/1973	150 SPACES
CURRENT SITE ARRANGMENT	
PROPOSED STALL COUNT	27 SPACES
PROPOSED RV SPACES	-4 SPACES
PROPOSED REMOVED SPACES FOR DRIVE AISLE	
TOTAL PROPOSED SPACES	23 SPACES
TOTAL SITE PROPOSED SITE SPACES	183 SPACES

IMPERVIOUS AREA TABLE

PROPOSED IMPERVIOUS AREA
PCC PATIO SLAB (80 SF x 27 STALLS) = 2,160 SF
PROJECT IS A STANDARD DEVELOPMENT PROJECT SEE STORM WATER APPLICABILITY CHECKLIST.



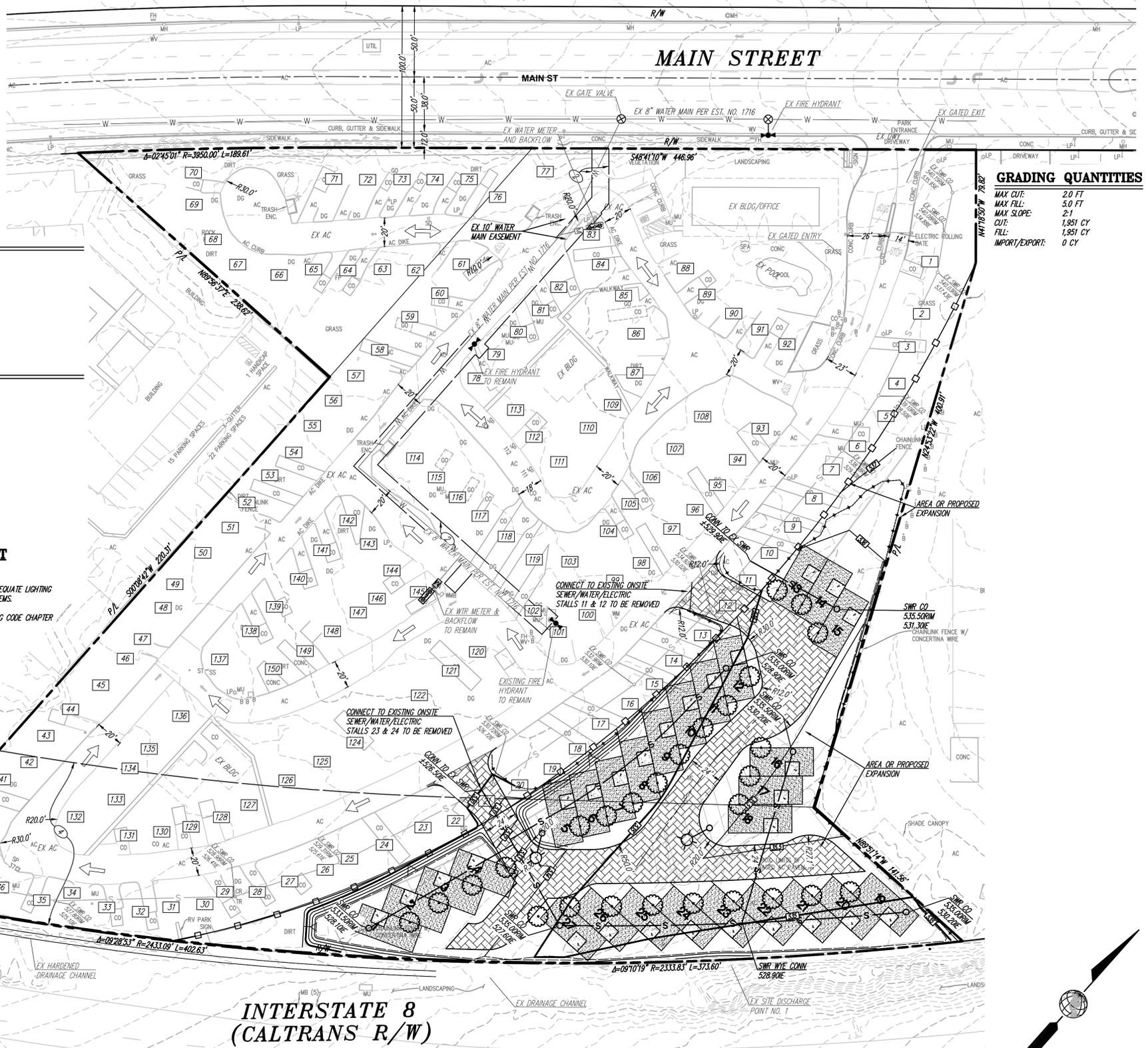
NOTE: ALL DEVELOPMENTS EXCEPT DETACHED SINGLE-FAMILY RESIDENCES SHALL PROVIDE ADEQUATE LIGHTING FOR PEDESTRIANS AND VEHICULAR SAFETY AND BE SUFFICIENT TO MAXIMIZE SECURITY PROBLEMS.
NOTE: PROVIDE A LANDSCAPE DOCUMENTATION PACKAGE (LDP) IN CONFORMANCE WITH ZONING CODE CHAPTER 17.195. AN APPROVED LDP IS REQUIRED PRIOR TO BUILDING PERMIT ISSUANCE.

PROJECT DEVELOPER

COMPANY: RV CAPITAL GROUP, LLC A CALIFORNIA LIMITED LIABILITY COMPANY
ATTN: REZA PAYDAR
ADDRESS: 1581 E. MAIN STREET, EL CAJON, CA 92021
(619) 850-0343
REZA.PAYDAR@PAYDARCOMPANIES.COM

PERVIOUS PAVER NOTE

PROPOSED PERMEABLE PAVERS SHALL BE CAPABLE OF SUPPORTING 75,000 LBS IN ALL WEATHER CONDITIONS.



GRADING QUANTITIES

MAX CUT:	2.0 FT
MAX FILL:	5.0 FT
MAX SLOPE:	2:1
CUT:	1,951 CY
FILL:	1,951 CY
IMPORT/EXPORT:	0 CY

LEGEND:

EXISTING ITEM	STD DWG	SYMBOL
PROJECT BOUNDARY	---	---
RIGHT OF WAY LINE	---	---
EXISTING EASEMENT LINE	---	---
STREET CENTERLINE	---	---
EXISTING FIRE HYDRANT	---	---
EXISTING GATE VALVE	---	---
EXISTING GATED ENTRANCE	---	---
EXISTING WATER METER & BACKFLOW	---	---
EXISTING RV PARKING STALL	---	---
EXISTING RV PARKING STALL TO BE REMOVED	---	---
EXISTING TRAFFIC DIRECTION	---	---
EXISTING WATER MAIN	---	---
PROPOSED EDGE OF PAVEMENT	---	---
PROPOSED RV PARKING STALL	---	---
PROPOSED PERVIOUS PAVERS	---	---
PROPOSED DG/PEA GRAVEL	---	---
PROPOSED CONC. PATIO	---	---
PROPOSED LIMIT OF EXPANSION	---	---
PROPOSED STREET LIGHT	---	---
PROPOSED TIPIANA JIPU TREE	---	---
PROPOSED SEWER LATERAL	---	---

APN
507-310-39-00 & 507-310-44-00

SITE ADDRESS
1581 E MAIN STREET
EL CAJON, CA 92021

FEMA
PROJECT SITE IS LOCATED IN FEMA ZONE "X" PER FEMA FIRMETTE NO. 06073C06666.

GROSS LOT AREA
7.22 AC

LEGAL DESCRIPTION

PARCEL A
PARCEL 1 OF PARCEL MAP NO. 7562, IN THE CITY OF EL CAJON, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 12, 1978 AS FILE NO. 78-291733 OF OFFICIAL RECORDS.
EXCEPTING THEREFROM ANY MOBILE HOME(S) LOCATED ON SAID LAND
PARCEL B
THOSE PORTIONS OF LOTS 4 AND 5 IN BLOCK 22 OF THE SUBDIVISION OF "S" TRACT, RANCHO EL CAJON, ACCORDING TO MAP THEREOF IN BOOK 170, PAGE 70 OF DEEDS IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY AS CONVEYED TO THE STATE OF CALIFORNIA IN DEEDS RECORDED ON SEPTEMBER 21, 1959 IN BOOK 7890, PAGE 510, AND ON APRIL 15, 1960 AS FILE/PAGE NO. 78122, IN THE OFFICE OF SAID COUNTY RECORDER, LYING NORTHWESTERLY OF THE FOLLOWING DESCRIBED LINE:
BEGINNING AT POINT "A" OF "PARCEL 1" AS DESCRIBED IN LAST SAID DEED, SAID POINT BEING ON THE NORTHWESTERLY RIGHT OF WAY OF INTERSTATE HIGHWAY ROUTE B, SAID POINT "A" ALSO BEING SHOWN AS "PI" ON SHEET 13 OF 13 ON MISCELLANEOUS SURVEY MAP NO. 581 FILED IN THE OFFICE OF THE COUNTY SURVEYOR OF SAID COUNTY, SAID POINT "A" BEING ON A 2500 FOOT RADIUS CURVE TO THE LEFT, HAVING A RADIAL BEARING OF S 35°16'11" E, AS SHOWN ON SAID MAP.
THENCE (1) ALONG SAID RIGHT OF WAY AND THE ARC OF SAID CURVE THROUGH "PI" B" AS SHOWN ON SAID MAP, 1195.90 FEET THROUGH AN ANGLE OF 27°24'29" TO THE SOUTHWESTERLY TERMINUS POINT OF A COURSE SHOWN AS "N 27°19'20" E 69.86" ON SAID MAP, SAID TERMINUS POINT BEING 138.64 FEET LEFT OF "B" LINE STATION 427+00.22" AS SHOWN ON SAID MAP, ALSO BEING THE POINT OF TERMINUS.
EXCEPTING THEREFROM, THOSE PORTIONS OF SAID LOTS 4 AND 5 CONVEYED IN A DEED RECORDED MARCH 7, 1974 AS FILE/PAGE NO. 74-057843 OF OFFICIAL RECORDS OF SAID COUNTY.

ZONING

APN: 507-310-3900 & APN: 507-310-4400
GENERAL PLAN LAND USE: GENERAL COMMERCIAL
ZONE: C-G (GENERAL COMMERCIAL)

INTERSTATE 8 (CALTRANS R/W)

PLOTTABLE EASEMENT & EXCEPTION NOTES

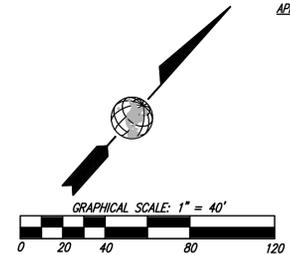
THE FOLLOWING IS A LIST OF ALL PLOTTABLE EASEMENTS, SERVITUDES, RIGHTS OF WAY, ACCESS, AND OTHER SURVEY RELATED DOCUMENTS THAT BURDEN THE SUBJECT PROPERTY WHICH ARE LISTED UNDER THE EXCEPTIONS FOR THE PRELIMINARY REPORT. ITEMS THAT CAN BE PLOTTED ARE SHOWN HEREON. THE EFFECT OF SAID EXCEPTIONS ARE MORE FULLY DESCRIBED IN THE ABOVE REFERENCED TITLE REPORT. ANY AGREEMENTS, ASSESSMENTS, COVENANTS & CONDITIONS & RESTRICTIONS (CCRS), FINANCING STATEMENTS, LEASES, LIENS, PERMITS, RESOLUTIONS, TAXES, OR WARNERS THAT APPEAR IN SAID REPORT WHICH ARE NOT SURVEY RELATED ARE NOT LISTED HEREON.

1 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: ELECTRIC EASEMENT DATED: JULY 16, 1973 EXECUTED BY O & R CENTERS, INC., A CALIFORNIA CORPORATION, AND SAN DIEGO GAS & ELECTRIC COMPANY, A CORPORATION RECORDING DATE: JULY 30, 1973 RECORDING NO.: 73-20125 OF OFFICIAL RECORDS REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
2 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: HELIX WATER DISTRICT
PURPOSE: UNDERGROUND WATER PIPELINE
RECORDING DATE: NOVEMBER 23, 1973
RECORDING NO.: 73-325827 OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT
3 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON PARCEL MAP NO. 7562, PURPOSE: RIGHT OF WAY FOR STATE HIGHWAY FUTURE WIDENING AND WATER EASEMENT AFFECTS: AS SHOWN ON SAID MAP.



Andrew J. Kann
R.C.E. 50940
11/18/2022
DATE



CITY OF EL CAJON
PERMIT NO. CUP-2022-0008

APPLICANT: RV CAPITAL GROUP, LLC
ASSESSOR PARCEL NO(S): 507-310-39-00
REQUEST: MODIFICATION OF CUP 514 TO INCLUDE AN ADDITIONAL PARCEL. ADDITIONAL TRAILER PARK SPACES AND UTILITIES PROPOSED.

PC RESOLUTION NO. _____ APPROVED BY: _____
CC RESOLUTION NO. _____
ORDINANCE NO. _____ DATE: 11/18/2022